



# Placentia Planning Commission Agenda

Regular Meeting

July 9, 2019

6:30 p.m.

Front Community Meeting Room #51  
401 E. Chapman Avenue, Placentia, CA 92870

**Christine J. Schaefer**  
Chair

**Frank Perez**  
Vice Chair

**Heather Francine**  
Commissioner

**Dennis Lee**  
Commissioner

**Vic Tomazic**  
Commissioner

**Claudia Keller**  
Commissioner

## Procedures for Addressing the Commission

Any person who wishes to speak regarding an item on the agenda or on a subject within the Planning Commission's jurisdiction during the "Oral Communications" portion of the agenda should fill out a "Speaker Request Form" and give it to the Commission Secretary BEFORE that portion of the agenda is called. Testimony for Public Hearings will only be taken at the time of the hearing. Any person who wishes to speak on a Public Hearing item should fill out a "Speaker Request Form" and give it to the Commission Secretary BEFORE the item is called.

The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks brief. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of an entire group. To encourage all views, the Commission discourages clapping, booing or shouts of approval or disagreement from the audience.

**PLEASE SILENCE CELL PHONES AND OTHER ELECTRONIC  
EQUIPMENT WHILE THE COMMISSION IS IN SESSION.**

## Special Accommodations

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (714) 993-8231. Notification 48 hours prior to the meeting will generally enable City staff to make reasonable arrangements to ensure accessibility.  
(28 CFR 35.102.35.104 ADA Title II)

Copies of all agenda materials are available for public review in the Office of the City Clerk, City Planning Division Counter, Placentia Library Reference Desk and the internet at [www.placentia.org](http://www.placentia.org) under the Planning Commission page. Persons who have questions concerning any agenda item may call the City Planning Division at (714) 993-8124 to make inquiry concerning the nature of the item described on the agenda.

In compliance California Government Code Section 54957.5, any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda that are not exempt from disclosure under the Public Records Act will be made available for public inspection at the City Clerk's Office at City Hall, 401 East Chapman Avenue, Placentia, during normal business hours.

Study Sessions are open to the public and held in the City Council Chambers or City Hall Community Room.

**City of Placentia**  
401 E Chapman Avenue  
Placentia, CA 92870

**Phone: (714) 993-8124**  
**Fax: (714) 528-4640**  
**Website: [www.placentia.org](http://www.placentia.org)**

**REGULAR MEETING**

6:30 p.m. – Front Community Meeting Room #51

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**CALL TO ORDER:**

**ROLL CALL:**

Commissioner Keller  
Commissioner Francine  
Commissioner Lee  
Commissioner Tomazic  
Vice Chair Perez  
Chair Schaefer

**PLEDGE OF ALLEGIANCE:**

**ORAL COMMUNICATIONS:**

At this time the public may address the Planning Commission concerning any agenda item, which is not a public hearing item, or on matters within the jurisdiction of the Planning Commission. There is a five (5) minute time limit for each individual addressing the Planning Commission.

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**CONSENT CALENDAR:**

1. **Planning Commission Meeting Minutes – April 9, 2019**  
**Recommended Actions:** Approve

**PUBLIC HEARINGS:**

1. **Applicant:** Chipotle Mexican Grill  
**Project Location:** 1474 N. Kraemer Boulevard

**Use Permit (UP) 2019-02:** To request to permit the onsite sale, dispensing and consumption of alcoholic beverages (ABC Type 47 License) at a proposed 2,052 square foot, 46 seat, Chipotle restaurant, located at 1474 N. Kraemer Boulevard within the T-C (Town Center) Zoning District.

**Recommended Actions:** It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit (UP) 2019-02;
2. Receive the staff report and consider all public testimony;
3. Close the public hearing;
4. Adopt Resolution PC-2019-14, a Resolution of the Planning Commission of the City of Placentia, approving Use Permit 2019-02 and making findings to permit

the onsite sale, dispensing, and consumption of alcoholic beverages (ABC Type 47 License) within a proposed 2,052 square-foot, 46 seat, bona fide restaurant located at 1474 N. Kraemer Boulevard, in the T-C (Town Center) Zoning District and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15301 (Class 1 – Existing Facilities) and the City of Placentia Environmental Guidelines.

2. **Applicant:** Randy Orozco  
**Project Location:** 719 ½ Monroe Way, APN 339-102-21

**Development Plan Review (DPR) 2019-01 (continued from June 11, 2019):** To request approval of a Development Plan Review (DPR) to allow for the development of an unimproved .37-acre lot, resulting in the construction of a new industrial building measuring approximately 7,600 square feet in conjunction with various onsite hardscape and landscape improvements within the M (Manufacturing) Zoning District east of State Route 57 (SR-57) and north of 721 Monroe Way.

**Recommended Actions:** It is recommended that the Planning Commission take the following actions:

1. Open Public Hearing, concerning Development Plan Review (DPR) No. 2019-01, receive the Staff Report and consider all Public Testimony, close the Public Hearing; and
2. Receive the staff report and consider all public testimony;
3. Close the public hearing;
4. Adopt Resolution No. PC-2019-06, a Resolution of the Planning Commission of the City of Placentia, approving DPR 2019-01 and making findings to permit the development of an unimproved .37-acre lot, resulting in the construction of a new industrial building measuring approximately 7,600 square feet in conjunction with various onsite hardscape and landscape improvements on property located within the M (Manufacturing) Zoning District, east of State Route 57 (SR-57) and north of 721 Monroe Way; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15332 (Class 32 – In-Fill Development Projects) and the City of Placentia Environmental Guidelines.

**NEW BUSINESS:** None

**OLD BUSINESS:** None

**DEVELOPMENT REPORT:**

## **DIRECTOR'S REPORT:**

### **PLANNING COMMISSION REQUESTS**

Commission members may make requests or ask questions of Staff. If a Commission member would like to have formal action taken on a requested matter, it will be placed on a future Commission Agenda.

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### **ADJOURNMENT**

The Planning Commissioners CLOSE to the regular Planning Commission meeting on August 13, 2019 at 6:30 p.m. in the City Council Chambers located at 401 East Chapman Avenue, Placentia CA, 92870.

### **CERTIFICATION OF POSTING**

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, hereby certify that the Agenda for the July 9, 2019 Regular Meeting of the Planning Commission of the City of Placentia was posted on July 3, 2019.



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Joseph M. Lambert, Secretary

**PLACENTIA PLANNING COMMISSION  
MINUTES OF THE REGULAR MEETING**

April 9, 2019

The regular meeting of the Placentia Planning Commission on April 9, 2019 was called to order at 6:30 p.m. in the City Council Chambers by Chair Schaefer.

**ROLL CALL:**

**PRESENT:** Commissioners Francine, Lee, Perez, Schaefer

**ABSENT:** Commissioners Keller, Tomazic

**OTHERS PRESENT:** Brittany Roberto, Assistant City Attorney  
Joseph M. Lambert, Director of Development Services  
Andrew Gonzales, Senior Planner  
Arlen Beck, Planning Technician  
Alana Spector, Office Assistant

**PLEDGE OF ALLEGIANCE:** Commissioner Francine

**ORAL COMMUNICATIONS:** None

**CONSENT CALENDAR:**

**1. Minutes**

- a. Planning Commission Meeting – February 12, 2019

**Recommended Actions:** Approve

**Motion by Schaefer, second by Lee carried on a (3-0-2-1) vote to approve the recommended actions.**

**Ayes:** Lee, Francine, Schaefer

**Noes:** None

**Absent:** Tomazic, Keller

**Abstain:** Perez

- b. Planning Commission Meeting – March 12, 2019

**Recommended Actions:** Approve

**Motion by Francine, second by Perez carried on a (3-0-2-1) vote to approve the recommended actions.**

**Ayes:** Francine, Perez, Schaefer

**Noes:** None

**Absent:** Tomazic, Keller

**Abstain:** Lee

## **PUBLIC HEARINGS:**

1. **Applicant:** Ajax Lakeview Development, LLC  
**Project Location:** 719 S. Lakeview Avenue

**Development Plan Review (DPR) 2018-08:** To request approval of a Development Plan Review (DPR) to allow for the development of two vacant lots measuring 3.3 acres and 2.4 acres for the construction of two industrial buildings within the C-M (Commercial-Manufacturing) Zoning District.

**Recommended Actions:** It is recommended that the Planning Commission:

1. Open Public Hearing concerning Development Plan Review (DPR) No. 2018-08;
2. Receive the staff report and consider all public testimony;
3. Close the public hearing; and
4. Adopt Resolution No. PC-2019-07, a Resolution of the Planning Commission of the City of Placentia, approving DPR 2018-08 and making findings to permit the development of two vacant lots measuring 3.3 acres and 2.4 acres for the construction of two industrial buildings within the C-M (Commercial – Manufacturing) Zoning District on property located at 719 S. Lakeview Avenue; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15332 (Class 32 – In-Fill Development Projects) and the City of Placentia Environmental Guidelines.

Senior Planner Andrew Gonzales presented the Staff Report. Mr. Gonzales stated that the applicant, Ajax Lakeview Development, LLC, is requesting approval of a Development Plan Review to allow for the development of two vacant lots with one industrial building on each respective lot.

Mr. Gonzales presented the applicant's request for a parcel map and described the location of the subject property. He stated that the General Plan Land Use Designation is Commercial Manufacturing, and that the proposed use would be consistent with the designation. Mr. Gonzales continued by stating that the two proposed buildings would each be on separate parcels, with one building being 57,000 square-feet and the other 38,000 square-feet. Mr. Gonzales then showed photos of the current condition of the unimproved lots.

Senior Planner Gonzales then talked briefly about the history of the property, noting that it was once the subject of a public nuisance hearing, and has since been resolved. He continued by noting that the project complies with the development standards for the zoning district, and spoke about the proposed site design layout. Mr. Gonzales noted that no public comments were received after the public noticing period.

Vice Chair Perez asked about what route truck traffic would take and overall truck maneuverability.

Senior Planner Andrew Gonzales replied that the City's Traffic Engineer reviewed the plans for the anticipated truck traffic and maneuverability and determined that they would be adequate.

Commissioner Francine asked if each building would have a single tenant, to which Mr. Gonzales replied in the affirmative.

Chair Schaefer asked if the applicant, Ajax Lakeview Development, LLC was associated with the previous tenant, Atwood Sales.

Mr. Gonzales replied that the two have no affiliation with the previous tenant.

Chair Schaefer commented that she liked the design of the proposed buildings and believes they will be an attractive addition to the area.

The applicant's representative, Larry Cochran of 555 N. El Camino Real, San Clemente, CA, thanked staff for their help during the entitlement process and agreed to comply with the Conditions of Approval.

**Motion by Perez, second by Lee carried on a (4-0-3-0) vote to approve the recommended actions.**

Ayes: Lee, Francine, Perez, Schaefer  
Noes: None  
Absent: Keller, Tomazic  
Abstain: None

- 1. Applicant: Randy Orozco**  
**Project Location: 721 Monroe Way**

**Development Plan Review (DPR) 2019-01:** To request approval of a Development Plan Review (DPR) to allow for the development of an unimproved .37-acre lot, with a new industrial building measuring approximately 6,968 square feet in conjunction with various onsite hardscape and landscape improvements within the M (Manufacturing) Zoning District.

**Recommended Actions:** It is recommended that the Planning Commission take the following actions:

1. Staff is recommending that this item be continued to the next regularly scheduled Planning Commission meeting to be held on May 14, 2019.

Planning Technician Arlen Beck stated that due to requested revisions by City staff, the applicant is requesting a continuance to the next regularly scheduled meeting of the Planning Commission.

**Motion by Francine, second by Schaefer carried on a (4-0-3-0) vote to approve the recommended actions.**

Ayes: Lee, Francine, Perez, Schaefer  
Noes: None  
Absent: Keller, Tomazic  
Abstain: None

**OLD BUSINESS:** None

**NEW BUSINESS:** None

**DEVELOPMENT REPORT:**

Director of Development Services Joe Lambert presented the Development Report. He started by stating that the Veterans Village project is under construction, with grading and sewer work currently taking place. He continued by stating that the new 7-Eleven store is now open at 818 W. Orangethorpe Avenue. In addition, the Integral Project by Lyon Living is expected to begin construction by July 15, 2019. Director Lambert also talked about the status of the expected new businesses in the Sierra Vista shopping center and Placentia Village Plaza shopping center.

Vice Chair Perez asked about trees that were removed from Placentia Village Plaza without prior approval.

Senior Planner Andrew Gonzales replied that the applicant has a condition in their entitlement approval that stated that any destroyed or removed trees would have to be replaced at a two-to-one ratio. This requires the applicant to plant 14 new trees.

Chair Schaefer inquired if the Placentia Village Plaza had a new management company.

Director Lambert replied that Blue Sands Management was not a new management company for the center, and continues to oversee the property.

**DIRECTOR'S REPORT:** None

**PLANNING COMMISSION REQUESTS:** None

**ADJOURNMENT:**

Chair Schaefer closed the Planning Commission Meeting at 7:03 p.m. to the regular meeting of Tuesday, May 14, 2019 at 6:30 p.m. in the City Council Chambers at 401 East Chapman Avenue, Placentia, CA

**Submitted by,**

  
\_\_\_\_\_  
Joseph M. Lambert,  
Secretary to the Planning Commission



# Placentia Planning Commission

## AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: ARLEN BECK, ASSISTANT PLANNER

DATE: JULY 9, 2019

SUBJECT: **USE PERMIT 2019-02 TO PERMIT THE ONSITE SALE AND CONSUMPTION OF GENERAL ALCOHOL (ABC TYPE 47 LICENSE) AT A PROPOSED 2,052 SQUARE FOOT, 46 SEAT RESTAURANT, LOCATED AT 1474 N. KRAEMER BOULEVARD, WITHIN THE T-C (TOWN CENTER) ZONING DISTRICT (CHIPOTLE ALCOHOL SALES)**

### **RECOMMENDATION:**

It is recommended that the Planning Commission take the following actions:

1. Open the public hearing concerning Use Permit (UP) 2019-02;
2. Receive the staff report and consider all public testimony;
3. Close the public hearing;
4. Adopt Resolution PC-2019-14, a resolution of the Planning Commission of the City of Placentia, approving Use Permit 2019-02 and making findings to permit the onsite sale, dispensing, and consumption of alcoholic beverages (ABC Type 47 License) within a proposed 2,052 square-foot, 46 seat, bona fide restaurant located at 1474 N. Kraemer Boulevard, in the T-C (Town Center) Zoning District and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15301 (Class 1 – Existing Facilities) and the City of Placentia Environmental Guidelines.

### **REQUEST:**

The applicant, Chipotle Mexican Grill, is requesting to permit the onsite sale, dispensing and consumption of alcoholic beverages (ABC Type 47 License) at a proposed 2,052 square foot, 46 seat, Chipotle restaurant, located at 1474 N. Kraemer Boulevard within the T-C (Town Center) Zoning District. All alcohol sales, dispensing, and consumption activities is intended to be confined within the interior of the restaurant.

### **PROJECT BACKGROUND AND DESCRIPTION:**

The subject property is improved with an existing shopping center known as the Village Plaza shopping center located at 1474 N. Kraemer Boulevard. The proposed restaurant, Chipotle Mexican Grill, will be one of three tenants located within a new multi-tenant retail commercial

building at the southeast corner of Kraemer and Yorba Linda Boulevard. Chipotle Mexican Grill is a fast-casual Mexican-style restaurant serving good quality food at an affordable price point. There are several licensed Chipotle Mexican Grill locations throughout California and approximately 2,500 locations worldwide. This restaurant will employ approximately 12 employees on the premises at any given shift. The restaurant will operate daily between the hours of 9:00 A.M. and 11:00 P.M. Per Placentia Municipal Code (PMC) Section 23.27.040, Planning Commission approval, as well as Alcoholic Beverage Control (ABC) approval is necessary for the onsite sale of alcoholic beverages.

An ABC Type 47 License permits the onsite sale, dispensing, and consumption of a full range of alcoholic beverages. According to the applicant the ability to offer items, such as margaritas and beer, is important to the Chipotle Mexican Grill business model. Alcohol will only be served inside the restaurant, and not within the outdoor seating area. Chipotle does not provide an on-premise bar area designated primarily for alcohol service. All alcoholic beverages are to be served in conjunction with food service. According to the Statement of Use, alcoholic beverages represent a small percentage of gross receipts. With implementation of the attached Condition of Approval, the onsite sale, service, and consumption of alcoholic beverages is not anticipated to pose any additional safety or security risks.

**Applicable Code Section – Placentia Municipal Code**

The subject property is currently zoned Town Center (T-C). The project will be required to comply with the development standards and use requirements set forth in the PMC Chapter 23.27, “T-C”-Town Center, for projects within the T-C Zoning District. Pursuant to PMC Section 23.27.040(3), any establishment selling alcoholic beverages including on-sale and off-sale shall require a UP to be reviewed and approved at a noticed public hearing before the Planning Commission.

**Subject Site and Surrounding Land Uses**

The proposed restaurant is located within an existing shopping center and located in a new multi-tenant commercial building, at the corner of N. Kraemer Boulevard and Yorba Linda Boulevard. The following chart shows surrounding existing land uses, zoning designations, and General Plan Land Use Designations:

**Surrounding Land Uses:**

<b>Location</b>	<b>Existing Land Use</b>	<b>Land Use Element General Plan Designation</b>	<b>Zoning Map Designation</b>
<b>Subject Site</b>	Unoccupied Tenant Space in an Existing Shopping Center	Commercial	T-C (Town Center)
<b>North (across Yorba Linda Blvd.)</b>	Commercial Office Building	Commercial	T-C

<b>South</b>	United States Postal Service	Commercial	T-C
<b>East (across Angelina Dr.)</b>	Commercial & Single-Family Residential	Commercial & Low Density Residential	T-C & R-1 (Single Family Residential)
<b>West (across Kraemer Blvd.)</b>	Existing Commercial Shopping Center	Commercial	T-C

**ZONING COMPLIANCE ANALYSIS**

**Site Development Standards**

The project is located within the T-C Zoning District. No changes to the building footprint and overall building envelope will occur, as a result, of the project.

**EXISTING ABC LICENSES WITHIN ONE-HALF MILE RADIUS OF SUBJECT SITE**

Currently, there are three other business, located within the existing shopping center (Maki Yaki, LA Kung Fu, and Meat Up BBQ), that are licensed to sell beer and wine for on-site consumption (Type 41 ABC License). The following chart shows all businesses within a one-half mile radius of the subject site with an existing ABC license and their ABC license type.

<b>Business</b>	<b>Address</b>	<b>License Type</b>
Maki Yaki	1490 N. Kraemer Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
Saigon Noodle House	1486 N. Kraemer Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
Salt & Ash	1390 N. Kraemer Blvd	47, On-Sale General for Bona Fide Public Eating Place
China Bistro	3250 Yorba Linda Blvd, Fullerton	47, On-Sale General for Bona Fide Public Eating Place
Ralphs 67	3330 Yorba Linda Blvd, Fullerton	21, Off-Sale General
AMPM Minimart	102 E. Yorba Linda Blvd	20, Off-Sale Beer & Wine
The Whole Enchilada	106 E. Yorba Linda Blvd	47, On-Sale General for Bona Fide Public Eating Place
Marie Calendar's	126 E. Yorba Linda Blvd	48, On-Sale General for Public Premises

Rubio's Coastal Grill	126 E. Yorba Linda Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
Craftsman Wood Fired Pizza	148 E. Yorba Linda Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
CVS	150 E. Yorba Linda Blvd	21, Off-Sale General
Walgreens	191 E. Yorba Linda Blvd	20, Off-Sale Beer & Wine
Philly's Best	198 E. Yorba Linda Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
LA Kung Fu 9	1448 N. Kraemer Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place
Meat Up BBQ	1450 N. Kraemer Blvd	41, On-Sale Beer and Wine for Bona Fide Public Eating Place

**Other Departments Concerns and Requirements**

The Divisions of Planning and Building, as well as the Placentia Police Department have reviewed the application, with no major concerns raised with the project proposal. The Planning Division identified comments and applicable code requirements that have been incorporated as conditions of approval into a draft resolution for consideration by the Planning Commission (Attachment No. 1).

**ISSUES ANALYSIS:**

**General Plan Consistency**

General Plan policies advocate to (a) increase the tax base of the City through land use planning while maintaining the City's suburban atmosphere and (b) orient land uses that create employment opportunities toward major and primary arterial streets so that activities associated with these uses have a minimal effect upon adjacent residential neighborhoods. The proposed project will fulfill these policies by offering goods, services, and employment opportunities to surrounding residents, thereby protecting and ensuring its long-term success. This will assist in maintaining a wide array and variety of commercial uses to help facilitate greater patronage and shopping activity for the shopping center, thereby helping to maintain a steady revenue stream. Increased patronage will assist and stimulate further investment in the community and strengthen the City's economic vitality. The proposed request to allow the on-site sale and consumption of alcohol at a Chipotle Mexican Grill restaurant will bring additional customers to the restaurant which will provide additional sales tax revenue to the City. In addition, the business is sited within an established commercial shopping center containing similar uses where its operations will not impact sensitive land use receptors.

### **PMC Consistency**

Incorporation of the recommended conditions of approval will result in a project that complies with the provisions of the T-C Zoning District. The proposed request, with incorporation of the recommended conditions of approval, will meet or exceed the provisions of the T-C zoning district and other applicable provisions of the PMC, including minimum parking requirements.

### **Land Use Compatibility**

The project will be compatible with the land uses of the surrounding area because the request to serve, dispense a full range of alcoholic beverages for on-site consumption in conjunction with a restaurant brings an additional service within an established commercial district containing primarily complementary commercial uses. The nature of the use will not have adverse impacts on adjacent business and properties as there are no significant noise or safety concerns.

### **Alcohol Sales**

The request is to permit the onsite sale and consumption of alcohol (ABC Type 47 License) at a proposed Chipotle Mexican Grill restaurant. To mitigate any impacts associated with alcohol sales, the Police Department is recommending several operational conditions of approval to address onsite security and prohibit alcohol sales between 11:00 PM and 9:00 AM to correspond with the restrictions of ABC. With the implementation of these provisions, it is not anticipated to generate any significant adverse impacts detrimental to the site and surrounding properties. The proposed hours of operation will end at 11:00 P.M.

### **CEQA:**

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgment and find that UP 2019-02 is exempt from CEQA pursuant to State CEQA Guidelines § 15301 (Class 1 – Existing Facilities) as the permit would be issued to an existing facility.

### **PUBLIC NOTIFICATION:**

Legal notice was published in the Placentia News Times on June 27, 2019, and notices were sent to property owners of record within a 300-foot radius of the subject property on June 27, 2019. As of July 3, 2019, staff has received no comments in support or in opposition to the request.

### **CONCLUSION:**

The proposed request is consistent with the City's General Plan and meets the minimum standards of the PMC. With the recommended conditions of approval, the proposed request, to allow the on-site sale, distribution and consumption of alcoholic beverages at a proposed restaurant located at 1474 N. Kraemer Boulevard (Village Plaza) within the T-C (Town Center)

Zoning District will be compatible with adjacent land uses and will not result in any adverse impacts onto the surrounding area.

**RECOMMENDATION:**

The Planning Division recommends that the Planning Commission of the City of Placentia adopt the Resolution PC-2019-14 recommending approval of UP 2019-02.

**Prepared by:**

  
Arlen Beck  
Assistant Planner

**Reviewed and approved:**

  
Andrew A. Gonzales  
Senior Planner

**Reviewed and approved:**

  
Joseph M. Lambert  
Director of Development Services

**Attachments:**

1. Resolution No. PC 2019-14 and Attachment "A" - Conditions of Approval
2. Project Plans Dated and Received May 30, 2019
3. Statement of Use Submitted by the Applicant Dated May 28, 2019 and Received May 30, 2019

**RESOLUTION NO. PC-2019-14**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING USE PERMIT NO. 2019-02 AND MAKING FINDINGS TO PERMIT THE ONSITE SALE AND CONSUMPTION OF GENERAL ALCOHOL (ABC TYPE 47 LICENSE) AT A PROPOSED 2,052 SQUARE FOOT, 46 SEAT, CHIPOTLE RESTAURANT, LOCATED AT 1474 N. KRAEMER BOULEVARD WITHIN THE T-C (TOWN CENTER) ZONING DISTRICT.**

**A. Recitals.**

**WHEREAS**, Chipotle Mexican Grill (“Applicant” hereinafter), located at 1474 N. Kraemer Boulevard, filed an application for approval of Use Permit (UP) No. 2019-02, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Use Permit request is referred to as the “Application”;

**WHEREAS**, on July 9, 2019, the Planning Commission conducted a duly noticed public hearing, as required by law, and after careful consideration of all pertinent testimony and the staff report offered in the case, the Planning Commission voted to approve UP 2019-02; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Placentia as follows:

**SECTION NO. 1:** Based on the evidence presented and the findings set forth, UP 2019-02 is hereby found to be consistent with the Placentia General Plan and the implementation thereof.

**SECTION NO. 2:** Based upon the evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The proposed request for the onsite sale and consumption of general alcohol at a proposed restaurant will not be: (1) detrimental to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed use or within the city, or (2) injurious to the property or improvements within the neighborhood or within the City. Subject to compliance with the attached Conditions of Approval and Standard Development Requirements (Attachment “A”), this use complies with all applicable code requirements and development standards of the T-C zoning district and (3) it is not anticipated that the proposed Chipotle Mexican Grill restaurant will generate any negative impacts onto adjacent properties and businesses. All primary activities shall be conducted within the enclosed building, while maintaining

an environment free from objectionable noise, odor, or other nuisances, subject to compliance with the attached Special Conditions of Approval and Standard Development Requirements.

b. The proposed request for the onsite sale and consumption of general alcohol at a proposed restaurant is consistent with the City's General Plan. The General Plan Land Use designation for the subject site is Commercial.

c. The proposed request for the onsite sale and consumption of general alcohol at a proposed restaurant, subject to the attached Conditions of Approval and Standard Development Requirements (Attachment "A"), is consistent with the provisions of the Zoning Ordinance, or regulations applicable to the property. The proposed request for the onsite sale and consumption of alcohol at a proposed restaurant is a conditionally permitted use in the T-C zoning district in the City of Placentia. Approval of the Use Permit for the proposed request for the onsite sale and consumption of alcohol at a proposed restaurant will be consistent with the zoning as the site can accommodate the use, and other similar uses have been conditionally permitted within other similar commercial districts.

d. Conditions necessary to secure the purposes of this section, including guarantees and evidence of compliance with conditions are made part of the UP approval. Attachment "A" contains Conditions of Approval and Standard Development Requirements specific to UP 2019-02 to ensure compliance with the Placentia Municipal Code (PMC).

**SECTION NO. 3:** Based upon the environmental review of the project, the Planning Commission finds that UP 2019-02 is exempt from the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15301 (Class 1 – Existing Facilities) as the permit would be issued to an existing structure or facility.

**SECTION NO. 4:** The Planning Commission hereby directs that, upon approval of UP 2019-02, that a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

**SECTION NO. 5:** Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves UP 2019-02.

**SECTION NO. 6:** The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED this 9<sup>th</sup> day of July, 2019

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CHRISTINE J. SCHAEFER, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 9<sup>th</sup> day of July 2019, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 9<sup>th</sup> day of July, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

ATTEST:

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JOSEPH M. LAMBERT,  
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

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TOM DUARTE,  
ASSISTANT CITY ATTORNEY

ATTACHMENT "A"



**Attachment A**  
**Special Conditions of Approval and Standard Development Requirements for**  
**Use Permit 2019-02**  
**1474 N. Kraemer Boulevard**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL OF THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH TO CONTINUE IN GOOD STANDING FOR THE USE PERMIT TO PERMIT THE ONSITE SALE AND CONSUMPTION OF GENERAL ALCOHOL (ABC TYPE 47 LICENSE)**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Use Permit (UP) 2019-02 is valid for a period of one (1) year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. Use Permit (UP) 2019-02 shall expire and be of no further force or effect if the use is discontinued or abandoned for a period of one (1) year.
3. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
4. The applicant shall, as a condition of approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may be issued against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its

counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.

5. Any changes or modifications to Use Permit (UP) 2019-02 shall be subject to review and approval by the Director of Development Services or designee, with substantial changes or modifications subject to Planning Commission review and approval.
6. There shall be no additional modifications to the approved plans with approval from the Director of Development Services or his/her designee. Any additional changes to the approved plans, which has the effect of expanding or intensifying the present use, shall require a new Use Permit.
7. The applicant, current business owner, and/or property owner shall obtain approval of a Building and Zoning Compliance Application and shall obtain approval of a City Business License. The applicant, current business owner, and/or property owner shall maintain a valid City Business License at all times during operation of the business.
8. This Use Permit may be reviewed at the discretion of the Director of Development Services in order to determine if the business is operating in compliance with all required Special Conditions of Approval and Standard Development Requirements.
9. There shall be no special promotional events held on the property, unless a written request for such is received and approved by the City of Placentia Development Services Director and the Police Department's Administrative Lieutenant at least 14 days in advance.
10. All patrons who appear under the age of 30 shall be required to show some form of identification or they will not be served an alcoholic beverage. All forms of out-of-state identification shall be checked by the authorized representative of the owner of the licensed premises in the Driver's License Guide. Upon presentment to the authorized representative of the owner of the licensed premises, the patron's form of identification shall be removed from the patron's wallet or any plastic holder and inspected for any alterations through a closer visual inspection. A sign indicating this policy shall be prominently posted in a place that is clearly visible to patrons. Only the following forms of identification will be acceptable:
  - a. Valid driver's license
  - b. Valid State identification card
  - c. Valid passport
  - d. Current military identification
  - e. U.S. Government immigrant identification card
11. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.

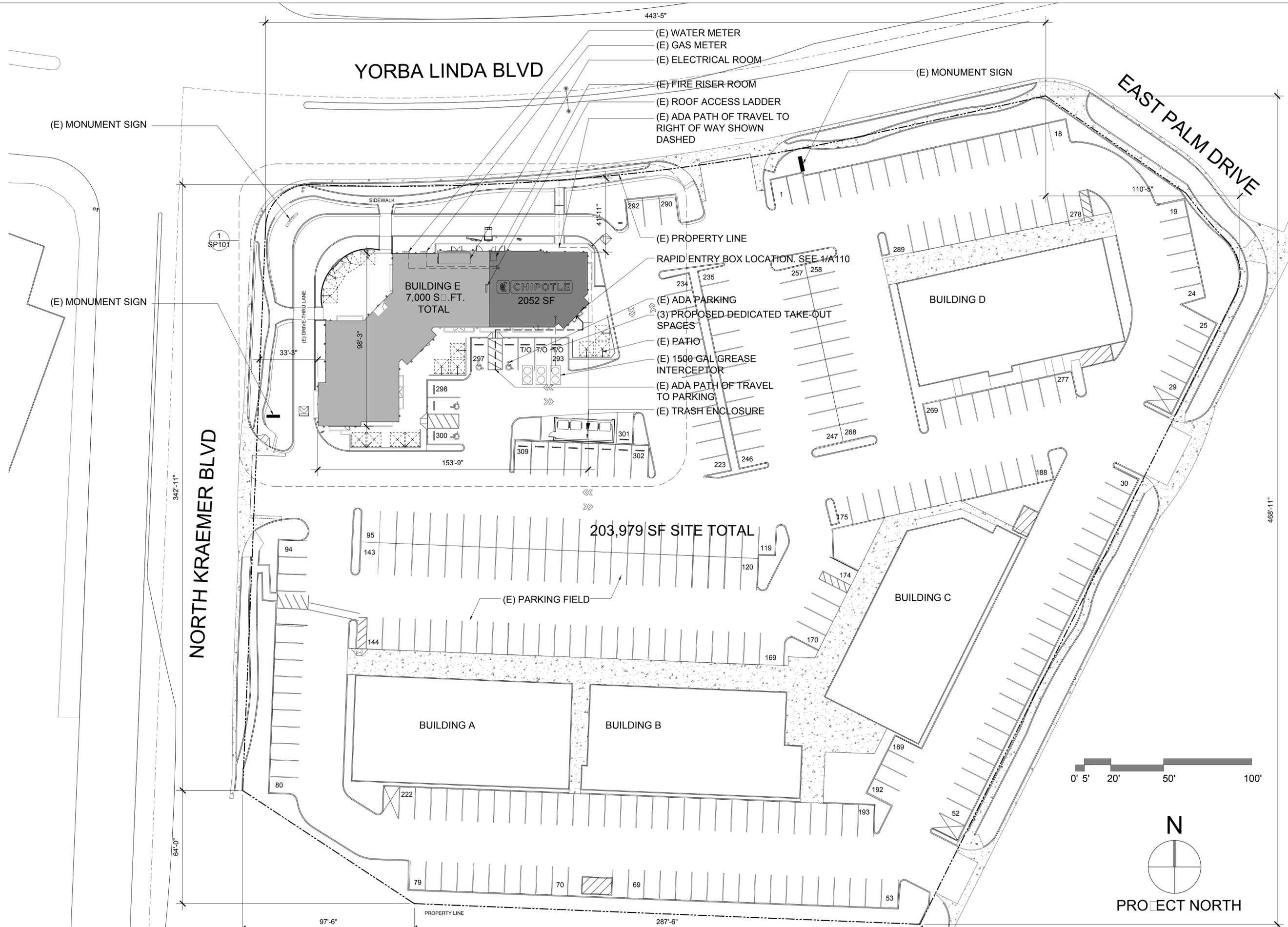
12. Persons serving alcoholic beverages are to attend a Responsible Beverage Service course such as the ABC LEADS or similar program and be able to provide certification of attendance when asked by the Placentia Police Department.

13. The use shall comply with the following:

- a. Prior to any changes to the days and hours of alcohol service, the applicant shall obtain written approval from the Director of Development Services or his/her designee. The following are the specified days and hours allowed for alcohol service:

Sunday through Saturday: 9:00 AM to 11:00 PM

- b. The use shall comply with all provisions of the PMC, including Chapter 23.76 Noise Control.



ARCHITECTURE & DESIGN

**WICK**

**CHIPOTLE MEXICAN GRILL**  
'PLACENTIA'

1474 NORTH KRAEMER BLVD  
PLACENTIA, CA 92870

**ISSUE DATES**

BUILDING/HEALTH SUBMITTAL 1: 021419

BUILDING/HEALTH SUBMITTAL 2: BID SET - 042319

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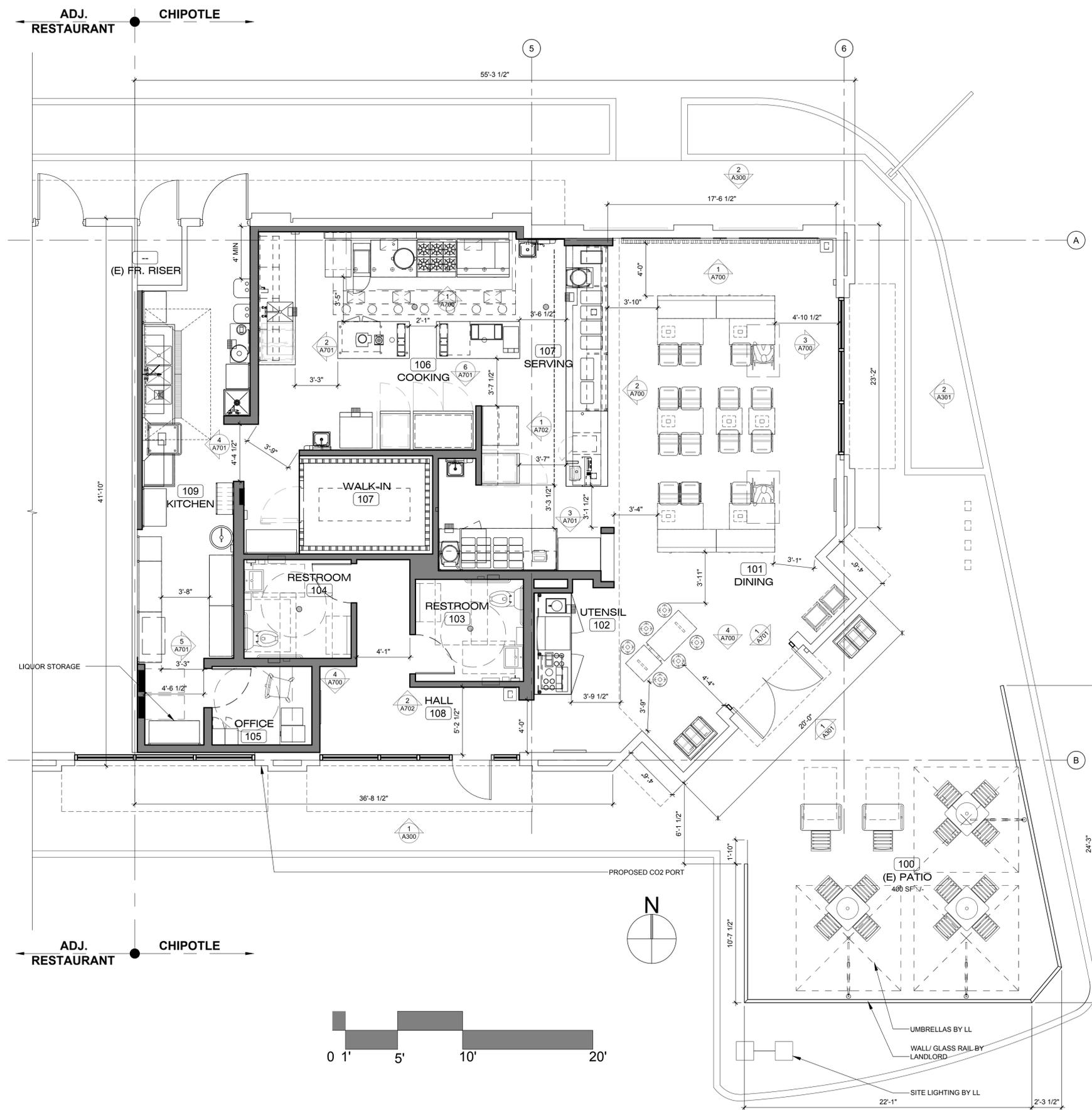
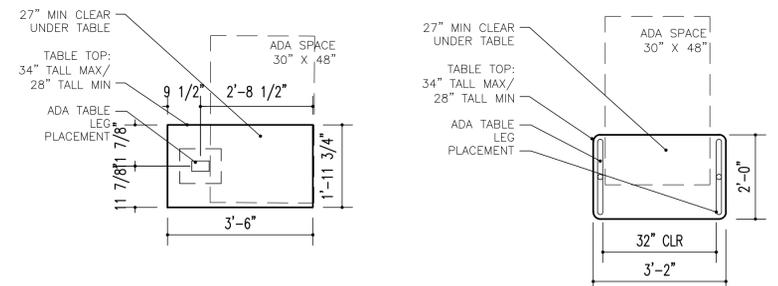
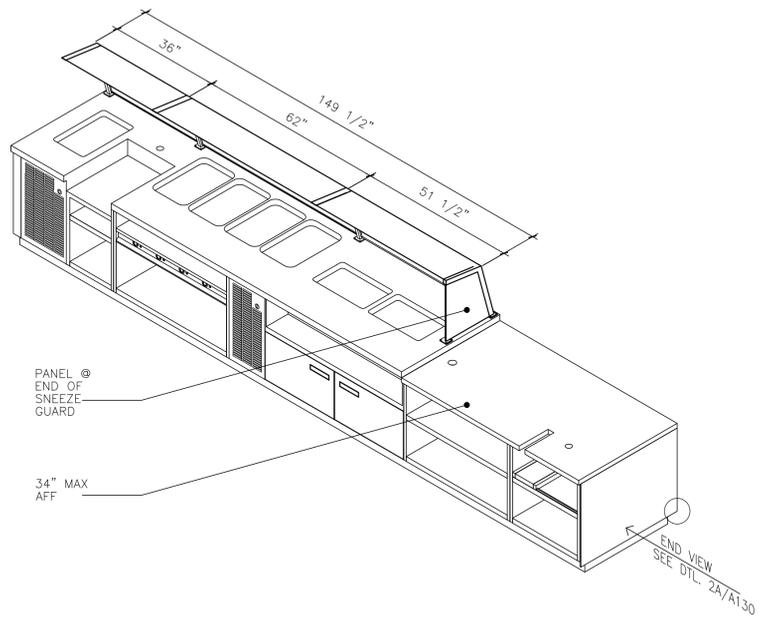
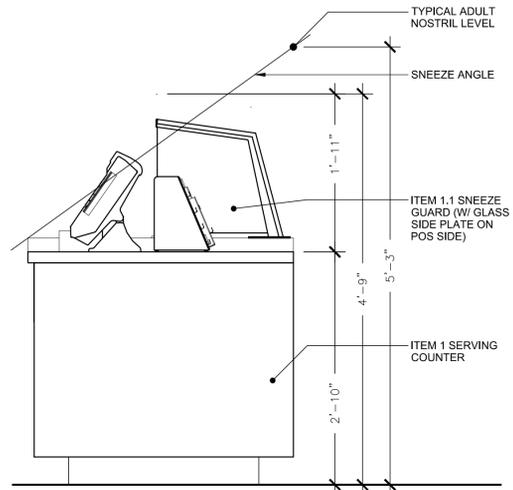
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**SITE PLAN**

SCALE: AS SHOWN DATE: 04.23.19



CHIPOTLE MEXICAN GRILL  
'PLACENTIA'

1474 NORTH KRAEMER BLVD  
PLACENTIA, CA 92870

ISSUE DATES  
BUILDING/ HEALTH SUBMITTAL 1: 02/19  
BUILDING/ HEALTH SUBMITTAL 2: BID SET - 04/19

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FFE PLAN

SCALE: AS SHOWN DATE: 04.23.19

May 28, 2019

Department of City Planning  
City of Placentia  
401 E Chapman Avenue  
Placentia, CA 92870

RE: Chipotle Mexican Grill Store #3373  
1474 N Kraemer Boulevard, Placentia CA 92870

Dear Planning Staff,

I am writing this letter as the authorized representative of the Applicant, Chipotle Mexican Grill (Chipotle Mexican Grill, LLC, d/b/a Chipotle Mexican Grill, ("the Applicant" and/or "Chipotle"), who is seeking the following discretionary approval with reference to its forthcoming location at 1474 N Kraemer Boulevard in the City of Placentia:

Pursuant to P.M.C Chapter 23.87 and Section 23.27.040(3), the Applicant requests a Use Permit for the sale and/or dispensing of a full line of alcoholic beverages for on-site consumption in connection with its forthcoming 46-seat, 2,052 s.f. restaurant (30 seats in the interior and an additional 16 seats on the 400 s.f. outdoor patio) with hours of operation from 9 a.m. to 11 p.m. daily, located on an approximately 4.69 acre lot in the T-C (Town Center) zone.

#### PROJECT DESCRIPTION

The Applicant, Chipotle, is requesting a Use Permit to enable the service of a full line of alcoholic beverages for on-site consumption at its forthcoming location in an existing shopping center located at 1474 N Kraemer Boulevard in Placentia ("Site"). The restaurant will be 2,052 s.f. and provide 46 seats, 30 seats inside and 16 seats on a 400 s.f. outdoor patio area. The Applicant is not requesting alcohol service in the patio area but only inside the restaurant.

The Applicant believes that its request for a Use Permit for the service of a full line of alcoholic beverages for on-site consumption along with meals at its forthcoming "fast casual" Mexican-style restaurant is warranted based upon the company's outstanding record of compliance with the California Department of Alcoholic Beverages ("ABC"), the appropriateness of the location for the requested use, and its overall reputation as a well-established, responsible company which can be trusted to manage the requested ABC license appropriately.

#### THE APPLICANT

The Applicant owns and operates more than 2,500 restaurants throughout the United States, Canada, and overseas, and continues to expand its brand. The Applicant attributes its tremendous growth rate since it opened its first location in 1993 on its vision for its restaurants. The idea is simple: demonstrate that customers could be served good quality food in a distinctive atmosphere--quickly and at an affordable price point. Chipotle uses high-quality raw ingredients, classic cooking methods and distinctive interior design--features that are more frequently found in the world of fine dining. The Applicant essentially established the category of dining now called "fast-casual," the fastest growing segment of the restaurant industry, where customers expect food quality that's more in line with



full-service restaurants, but with the speed and convenience of fast food and a lower price point than would be possible with a full-service restaurant.

The request to be able to serve alcohol at this location is based upon a business model that strives to create a more elevated experience than a fast-food restaurant. The Applicant has found that many of its customers appreciate the ability to enjoy these items with their Mexican-style meals. While the sale of these items is a very small percentage of gross receipts, the Applicant believes that it is an important component of its business model and supports the success of each of its locations.

In terms of management of these items, the Applicant has an outstanding record of compliance with the ABC and parallel agencies wherever its restaurants are located. The Applicant provides training to staff and has internal processes and procedures in place to ensure that these items are consumed responsibly. It promotes from within at a higher-than-industry-standard rate. Chipotle prides itself on being a good operator, and believes that its architect-designed, responsibly managed restaurants are an asset to the communities in which they are located.

As an example of its community-minded philosophy, several years ago, the Applicant launched a campaign to incorporate a concern for the environmental and societal impact of its restaurants into its business model. Features of this model, which the Applicant calls "Food with Integrity," include a commitment to high-quality food, sustainable business practices, charitable giving, and responsible sourcing of animal products. This philosophy is part of an overall commitment to running a business which has a positive impact on its employees, its patrons, its environmentally minded vendors and suppliers, and the communities in which its restaurants are located. Certainly, practices designed to ensure appropriate training and management practices related to sales of alcoholic beverage products are an important feature of Chipotle's corporate philosophy. Indeed, the Applicant has an outstanding record of compliance with the California ABC and parallel regulatory agencies wherever its restaurants are located.

## THE SITE

The subject property is a level, irregularly shaped parcel of land, consisting of approximately 4.69 acres in the T-C (Town Center) zone. It is located at the northwesterly corner of the Village Plaza shopping center, which has frontage on Yorba Linda Boulevard, N. Kraemer Boulevard, and N. Angelina Drive. Chipotle's restaurant will be located within a new 3-tenant building on the corner which will be approximately 7000 s.f. when completed. Other tenants will include Five Guys and Starbucks. The Starbucks will have a drive-through, but Chipotle will not.

There are a number of other restaurant, retail, and neighborhood commercial uses within the shopping center as a whole. These uses include Maki Yaki Japanese Grill, KFC, Meat Up BB, Saigon Noodle House, Sprint, several salons, and other neighborhood commercial retail and office uses. Nearby uses include a U.S. Post Office to the South, several bank branches to the north and west, a Walgreen's, and a McDonald's. These commercial uses are all situated along Yorba Linda Boulevard and Kraemer Boulevard, both commercial thoroughfares in this area. There are single family residential uses east of Angelina Drive and north of Yorba Linda Boulevard. Thus, while there are residential uses in the vicinity, they are thoroughly buffered from the proposed alcohol sales at Chipotle by other uses within the Village Plaza Shopping Center, and by the commercial uses that are situated along both sides of these major thoroughfare.

In terms of the parking, there is large surface parking lot that is shared by all tenants on the site. There are a small number of parking spaces directly adjacent to the Chipotle itself on the southerly side of the building. In any case, the within request for a Use Permit to allow the sale of alcohol pursuant to a type 47 ABC license will not have any



impact on parking demand or requirements as the within request is operational only; a restaurant is a by right use at this location. The permitting for the restaurant itself has been proceeding on a separate track, and is already under construction.

#### REQUEST/OPERATIONAL DETAILS

In terms of the request for the within Use Permit to allow the on-site service/sale of a full line of alcoholic beverages, the service of these items is typically a very small component of Chipotle's business. The Applicant's desire for the requested Use Permit is because its experience here and at its other locations—over 2,500 worldwide—is that its customers appreciate having the ability to enjoy a beer or margarita with their meals. The ability to offer these items is an important component of Chipotle's business model, and is one of various features that help distinguish it from other casual dining venues. While it may not actually pursue a type 47 license with the California Department of Alcoholic Beverage Control, the Applicant typically requests local government approval of this license type in the event that the company later upgrades its license from a type 41 (beer and wine on site) to a type 47. It is therefore requesting a Use Permit to allow service of a full line of alcoholic beverages pursuant to a type 47 ABC license. As a practical matter, Chipotle only serves beer and margaritas at even those locations with active type 47 licenses. Thus, Chipotle would not serve any alcohol aside from those items if it were to obtain a type 47 license at this location. Regardless, the sale of these products constitutes a very small part of gross receipts.

The Applicant is requesting hours of operation from 9:00 a.m. – 11:00 a.m. daily with coterminous hours of alcohol sales. The Applicant believes that the hours are modest, and that they are consistent with surrounding uses. The total number of employees at this location will be approximately 25, with approximately 12 employees on-premises during any given shift.

As far as traffic is concerned, the Applicant does not believe that the request to serve alcohol at this location will have an appreciable impact on the number of vehicles associated with the use. Traffic to the Site will primarily be generated by the restaurant itself, the other commercial uses on the Site, and the other uses in the vicinity. Moreover, Chipotle will be located on a major commercial thoroughfare. The Applicant anticipates that many of its customers will be people who live or work nearby or pass by or close by the Site. In any case, the sale of alcohol is a very small percentage of gross receipts, and in itself will have a negligible impact on the number of vehicles associated with the Site.

#### CONCLUSION

For all of the above reasons, I respectfully submit on behalf of the Applicant, Chipotle Mexican Grill, that approval of the requested Use Permit is warranted, and that the required findings can be made.

Sincerely,

Valerie Sacks

Liquorlicense.com



# Placentia Planning Commission

## AGENDA STAFF REPORT

TO: PLANNING COMMISSION

FROM: ARLEN BECK, ASSISTANT PLANNER

DATE: JULY 9, 2019

SUBJECT: **DEVELOPMENT PLAN REVIEW NO. 2019-01 TO PERMIT THE DEVELOPMENT OF AN UNIMPROVED .37-ACRE LOT, RESULTING IN THE CONSTRUCTION OF A NEW INDUSTRIAL BUILDING MEASURING APPROXIMATELY 7,600 SQUARE FEET IN CONJUNCTION WITH VARIOUS ONSITE HARDSCAPE AND LANDSCAPE IMPROVEMENTS ON PROPERTY LOCATED AT 719 ½ MONROE WAY WITHIN THE M (MANUFACTURING) ZONING DISTRICT, EAST OF STATE ROUTE 57 (SR-57) AND NORTH OF 721 MONROE WAY (APN 339-102-21).**

### **RECOMMENDATION**

It is recommended that the Planning Commission take the following action:

- 1) Open Public Hearing, concerning Development Plan Review (DPR) No. 2019-01, receive the Staff Report and consider all Public Testimony, close the Public Hearing; and
- 2) Adopt Resolution No. PC-2019-06, a Resolution of the Planning Commission of the City of Placentia, approving DPR 2019-01 and making findings to permit the development of an unimproved .37-acre lot, resulting in the construction of a new industrial building measuring approximately 7,600 square feet in conjunction with various onsite hardscape and landscape improvements on property located within the M (Manufacturing) Zoning District, east of State Route 57 (SR-57) and north of 721 Monroe Way; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15332 (Class 32 – In-Fill Development Projects) and the City of Placentia Environmental Guidelines.

### **REQUEST:**

The applicant, Randy Orozco, requests approval of a DPR to allow for the development of an unimproved .37-acre lot, resulting in the construction of a new industrial building measuring approximately 7,600 square feet in conjunction with various onsite hardscape and landscape improvements within the M (Manufacturing) Zoning District east of State Route 57 (SR-57) and north of 721 Monroe Way.

**PROJECT BACKGROUND AND DESCRIPTION:**

The subject site is unimproved property, that is currently used as an outside storage yard. The property has historically been utilized as an outside storage yard. The site does not have any street frontage and is only accessible through a drive aisle between the buildings of 719 and 721 Monroe Way. Access onto the site will be served by a 40-foot wide common driveway and 40-foot common wide drive aisle that bisects the buildings at 719 and 721 Monroe Way. The drive aisle will serve as a fire access lane. Reciprocal access is required to be maintained for the proposed parcels to ensure safe and adequate onsite vehicular circulation. Onsite parking will be distributed along the sides of the property, toward the front of the proposed building.

Approximately 2,427 square feet of decorative landscaping will be distributed throughout the project site along the property frontage and within the parking lot areas. The parking lot has been designed to accommodate access by oversized shipping trucks, including unobstructed access to shipping docks located at the front of the building.

The first-floor interior of the proposed building will be comprised of a small office area and warehouse/storage area. The second-floor interior of the proposed building will be comprised of office and storage space. The office area is integrated with and clearly incidental to a primary industrial use in accordance with the Manufacturing (M) Zoning District standards. The property owner of the parcel (APN 339-102-21) is a construction contractor who intends to use the proposed industrial building for his business. The warehouse part of the building will be primarily used as storage with the office space to serve as administrative offices and storage of company records.

**Applicable Code Section – Placentia Municipal Code**

The subject property is currently zoned Manufacturing (M). The project will be required to comply with the development standards and use requirements set forth in the Placentia Municipal Code (PMC) for projects within the M Zoning Districts. Pursuant to PMC Section 23.75.010(a), construction of new buildings shall require a DPR to be reviewed and approved at a noticed public hearing before the Planning Commission.

**PROJECT CHARACTERISTICS**

**Subject Site and Surrounding Land Uses**

The table below illustrates the site and surrounding existing land uses, General Plan Land Use designation and zoning:

	<b>Existing Land Use</b>	<b>Land Use Element General Plan Designation</b>	<b>Zoning Map Designation</b>
<b>Existing</b>	Unimproved Vacant Land	Industrial	M (Manufacturing)
<b>Proposed</b>	New Industrial Building – 7,600 sq. ft.	Industrial	M (Manufacturing)
<b>North (567 Melrose St.)</b>	Screen-printing Business	Industrial	M (Manufacturing)
<b>South (721 Monroe Way)</b>	Roofing contractor business	Industrial	M (Manufacturing)
<b>East (719 Monroe Way)</b>	Multi-tenant Industrial building	Industrial	M (Manufacturing)
<b>West (SR-57)</b>	State Route 57 Freeway (SR- 57)	Industrial	M (Manufacturing)

**ZONING COMPLIANCE ANALYSIS**

**Site Development Standards**

The project is located within the Manufacturing “M” Zoning District. Based on staff’s analysis, the project meets all the minimum and maximum development standards of the PMC, including minimum setbacks, maximum building height, and minimum off-street parking requirements, when using adjusted gross floor area. The following table shows the required parking per PMC Chapter 23.78, Off-Street Parking. The applicant is requesting that the Planning Commission make a Use Conformity Determination to use adjusted gross floor area in lieu of gross floor area to calculate required parking.

<b>Parking Generation</b>			
<b>Use</b>	<b>square feet</b>	<b>Parking rate</b>	<b>required spaces</b>
Industrial (up to 20,000 Sq. Ft.)	2,931	2 per 1,000 square feet	6
Office (first 25% of floor space)	1,815	2 per 1,000 square feet	4
Office (in excess of 25% of floor space)	2,006	4 per 1,000 square feet	8
<b>Total Spaces required</b>			<b>18</b>

## **USE CONFORMITY DETERMINATION**

Pursuant to the Placentia Municipal Code (PMC), § 23.78.035, the Planning Commission may consider and approve: *“the use of adjusted gross floor area as a basis for the determination of required parking where it finds that calculation of required parking based on gross floor area would result in an excessive number of parking spaces. Adjusted gross floor area shall exclude common facilities shared by all tenants which do not contribute to building occupancy and shall be limited to mechanical rooms, elevators, foyers, indivisible corridors and hallways.”* The applicant is proposing to use the adjusted gross floor area of 5,710 square feet as a basis for the determination of required parking, which will require 16 off-street parking spaces instead the gross floor area of 6,752 square feet which will require 18 off-street parking spaces and due to the odd shape of the parcel only 16 off-street parking spaces will fit on the parcel. Staff finds that the calculation of required parking based on gross floor area would result in an excess number of parking spaces.

### **Other Departments Concerns and Requirements**

The Divisions of Planning and Building, Public Works Department, Community Services Department, Police Department, as well as the Orange County Fire Authority have reviewed the application and submitted comments and had no major concerns with the proposal. All applicable code requirements and conditions of approval have been incorporated into draft resolutions for consideration and recommendation by the Planning Commission.

## **ISSUES ANALYSIS:**

### **General Plan Consistency**

The General Plan features policies that promotes the reinvestment of underutilized properties while being sensitive to the suburban atmosphere and requires new developments to provide adequate improvements, dedication of land, and pay impact fees to offset the demand costs on city services and facilities. The proposed development and subdivision is consistent with the following Land Use policies of the General Plan:

Policy 1.1 – Large, contiguous vacant or underutilized parcels should be comprehensively planned for development to minimize effects on the City suburban atmosphere.

Policy 2.1 – The distribution of land uses within the general plan shall be such as to achieve an economical community which will not require added public expenditures per household, per commercial establishment, or per employee to finance new development or to update existing development.

Policy 2.5 – Ensure new developments provide adequate improvements, dedications, and fees to the City to fully cover the project’s demand costs on City services and facilities.

Development of a large vacant property will promote further compatibility with newer development in the surrounding area and stimulate investment and business activity which will strengthen the economic vitality of the City. The development will provide necessary improvements within the public right-of-way including street dedication and installation of new sidewalks, gutters, and driveway approaches. Impact fees will be required to be paid by the developer in an effort to offset any associated impacts on City services and facilities. Overall, the proposed development and subdivision will be consistent with the General Plan and will result in a compatible continuation to existing land uses and development within the surrounding area.

### **PMC Consistency**

Should the Planning Commission approve the Use Conformity Determination, incorporation of the recommended conditions of approval will result in a project that complies with the provisions of the M zoning district. The proposed project, with incorporation of the recommended conditions of approval, will meet or exceed the provisions of the M zoning district and other applicable provisions of the PMC, including minimum parking requirements, minimum setbacks, and maximum building height.

### **Land Use Compatibility**

The project will be compatible with the surrounding area as the development will revitalize an underutilized property, historically utilized for outside storage purposes. The subject property is surrounded by manufacturing uses. All business activities will be fully contained within the building's interior. Based upon the use, overall site layout, and building design, the proposed development is not anticipated to result in any adverse impacts to the surrounding area.

### **Landscaping**

Proposed landscaping for the project will include a mix of native and ornamental varieties along much of the site perimeter and within the parking lot area of the development. Tree plantings along the site perimeter and interior and would include varieties such as Brisbane Box and Canary Island Pine. Other native/ornamental species will serve as ground cover throughout the development. The landscaping plan will meet the requirements of the MWELO (Model Water Efficient Landscape Ordinance) as required by the City's code.

### **Housing, Planning and Economic Development Ad Hoc Committee of the City Council**

The site plans, floor plan, landscape plan, elevation, as well as the architectural renderings were reviewed by the Housing, Planning and Economic Development Ad Hoc Committee of the City Council and staff was given direction on to work with the applicant and Architect to make architectural revisions to the proposed building. Staff has incorporated the concerns raised by the ad-hoc committee and has worked with the applicant to make the

necessary architectural enhancements to the proposed building. As a result, the project plans attached to this staff report have been reviewed and recommended for approval by the Housing, Planning and Economic Development Ad Hoc Committee of the City Council.

### **CEQA**

The proposed application was reviewed by staff in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia. Staff recommends that the Planning Commission exercise its independent judgement and find that DPR 2017-02 is exempt from CEQA pursuant to State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) as the entitlement is to approve an infill development project.

### **PUBLIC NOTIFICATION:**

Legal notice was published in the Placentia News Times, and notices were sent to property owners of record within a 300-foot radius of the subject property at least 10 days prior to the first public hearing regarding this item. This item was noticed in conformance with both the PMC and State law. It should be noted that this item has been continued to a date certain several times since originally noticed, in compliance with the PMC and State law. As of July 3, 2019, staff has received no comments in support or in opposition of the request.

### **CONCLUSION**

The proposed project is consistent with the City's General Plan and meets the minimum development standards of the PMC. With the recommended conditions of approval, the proposed development and subdivision will be compatible with adjacent land uses and will not result in any adverse impacts onto the surrounding area.

### **RECOMMENDATION**

Staff recommends that the Planning Commission of the City of Placentia adopt the Resolution PC-2019-06 recommending approval of DPR 2019-01; and making findings that the project is categorically exempt pursuant to the California Environmental Quality Act (CEQA) set forth in Title 14 CCR § 15332 (Class 32 – In-Fill Development Projects) and the City of Placentia Environmental Guidelines.

**Prepared by:**



Arlen Beck  
Assistant Planner

**Reviewed and approved:**



Andrew A. Gonzales  
Senior Planner

**Reviewed and approved:**



Joseph M. Lambert  
Director of Development Services

**Attachments:**

1. Resolution No. PC 2019-06 and Attachment "A" - Conditions of Approval
2. Project plans dated and received June 5, 2019

**RESOLUTION NO. PC-2019-06**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PLACENTIA APPROVING DEVELOPMENT PLAN REVIEW NO. 2019-01 AND MAKING FINDINGS TO PERMIT THE DEVELOPMENT OF AN UNIMPROVED .37-ACRE LOT, RESULTING IN THE CONSTRUCTION OF A NEW INDUSTRIAL BUILDING MEASURING APPROXIMATELY 7,600 SQUARE FEET IN CONJUNCTION WITH VARIOUS ONSITE HARDSCAPE AND LANDSCAPE IMPROVEMENTS ON PROPERTY LOCATED WITHIN THE M (MANUFACTURING) ZONING DISTRICT, EAST OF STATE ROUTE 57 (SR-57) AND NORTH OF 721 MONROE (APN 339-102-21).**

**A. Recitals.**

**WHEREAS**, Randy Orozco (“Applicant” hereinafter), filed an application for approval of Development Plan Review (DPR) 2019-01, as described in the title of this Resolution. Hereinafter, in this Resolution, the subject Development Plan Review request is referred to as the “Application”;

**WHEREAS**, the subject property is currently located within the M (Manufacturing) Zoning District;

**WHEREAS**, the subject site is designated as Industrial land use type by the City’s General Plan;

**WHEREAS**, pursuant to the Placentia Municipal Code (PMC) Section 23.75.010 zoning district, approval of a Development Plan Review by the Planning Commission is required for construction of new buildings in all zones;

**WHEREAS**, on July 9, 2019, this Commission conducted a duly noticed public hearing, as required by law, and concluded said hearing prior to the adoption of this Resolution; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.**

NOW, THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Placentia as follows:

**SECTION NO. 1:** Based on the evidence presented and the findings set forth, DPR 2019-01 is hereby found to be consistent with the Placentia General Plan and the implementation thereof.

**SECTION NO. 2:** Based upon substantial evidence presented to this Commission during the public hearing conducted with regard to the Application, including written staff reports, verbal testimony and development plans, this Commission hereby specifically finds as follows:

a. The project meets or exceeds the criteria established in PMC Section 23.75.020; and

b. Conditions of Approval have been prepared as necessary to prevent: (A) detriment to the health, safety or general welfare of the persons residing or working within the neighborhood of the proposed development or within the city, or (B) injurious to the property or improvements within the neighborhood or within the city, and;

c. The proposed development will be consistent with the latest adopted general plan; and

d. Conditions necessary to secure the purposes of PMC Section 23.75.020, including guarantees and evidence of compliance with conditions, are made part of the development approval.

**SECTION NO. 3:** Based upon the environmental review of the project, the Planning Commission finds that DPR 2019-01 is exempt from the California Environmental Quality Act (“CEQA”), Public Resources Code §§ 21000 *et seq.*, the State CEQA Guidelines, 14 C.C.R. §§ 15000 *et seq.*, and the Environmental Guidelines of the City of Placentia pursuant to the State CEQA Guidelines § 15332 (Class 32 – Infill Development Projects) as the permit would be issued to an infill development project.

**SECTION NO. 4:** The Planning Commission hereby directs that, upon approval of DPR 2019-01, that a Notice of Exemption shall be filed with the Orange County Clerk/Recorder.

**SECTION NO. 5:** Based upon the findings and conclusions set forth herein, this Planning Commission hereby approves DPR 2019-01 as modified herein, and specifically subject to the conditions set forth in Attachments “A” and attached hereto and by this reference incorporated herein.

**SECTION NO. 6:** The Secretary to the Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail, to the Applicant at the address of record set forth in the Application.

ADOPTED AND APPROVED this 9<sup>th</sup> day of July, 2019

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CHRISTINE J. SCHAEFER, CHAIR

I, Joseph M. Lambert, Secretary to the Planning Commission of the City of Placentia, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Placentia held on the 9<sup>th</sup> day of July,

2019, and was passed at this regular meeting of the Planning Commission of the City of Placentia held on the 9<sup>th</sup> day of July, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

ATTEST:

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JOSEPH M. LAMBERT,  
SECRETARY TO THE PLANNING COMMISSION

APPROVED AS TO FORM

---

TOM DUARTE,  
ASSISTANT CITY ATTORNEY

ATTACHMENT "A"

**Attachment "A"**  
**Special Conditions of Approval and Standard Development Requirements for**  
**Development Plan Review (DPR) No. 2019-01**  
**APN: 339-102-21**

**SPECIAL CONDITIONS**

If the above referenced application is approved, applicant and/or property owner shall comply with the Special Conditions listed below and the Standard Development Requirements attached.

**ALL THE FOLLOWING SPECIAL CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE FULLY COMPLIED WITH FOR THE DEVELOPMENT PLAN REVIEW TO CONTINUE IN GOOD STANDING.**

**DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION:**

1. Development Plan Review (DPR) No. 2019-01 is valid for a period of twenty-four (24) months from the date of final determination, unless extended pursuant to Placentia Municipal Code (PMC) Section 23.75.080. If the development or use approved by this action is not established by obtaining Building Permits within such a period of time, this approval shall be terminated and shall be null and void, unless an extension is applied for and approved by the Director of Development Services.
2. Failure to abide by and faithfully comply with any and all conditions attached to this action shall constitute grounds for revocation of said action by the City of Placentia Planning Commission.
3. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, proceeding, liability or judgment against the City, its officers, employees, agents and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body or City staff action concerning applicant's project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation-related expenses, and shall reimburse the City for any and all court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein. The City agrees to promptly notify the applicant of any such claim filed against the City and to fully cooperate in the defense of any such action.
4. Any significant modifications to the approved site plan, floor plans, and elevation plans, including any modifications which will change, expand or intensify the use(s)

shall be subject to review and approval by the Director of Development Services. The Director of Development Services or his or her designee may determine if such modifications require approval by the City of Placentia Planning Commission or may be approved administratively by City staff.

5. All applicable provisions of the Placentia Municipal Code (PMC) shall be met prior to issuance of Building Permits and shall be adhered to at all times.
6. Prior to issuance of building permits, except as otherwise noted, the project plans shall be submitted for the review and certification for inclusion into the entitlement file by the Director of Development Services and shall include the following information:
  - a. All Special Conditions of Approval and Standard Development Requirements of DPR 2019-01. Include any project revisions on the applicable sheets of the project plans. Additionally, include separate sheets with approved Special Conditions of Approval and Standard Development Requirements to be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
  - b. Typical cross section views and details through the property and across each property line as directed by the Director of Development Services.
  - d. Location of transformers, meters and other aboveground appurtenances.
  - e. The developer shall submit for City approval a construction staging plan that indicates how safe vehicular and pedestrian access to the site will be maintained for the duration of the construction period. The construction stage plan shall include measures such as, but not limited to the following:
    - i. A telephone number and a name of a contact person for registering complaints or comments shall be posted in a clearly visible manner along the perimeter of the site.
    - ii. A flag person shall be employed to direct traffic when construction vehicles access the project site and the construction staging area.
    - iii. Alternate pedestrian routes to the site shall be clearly delineated with safe access to and from the site.
    - iv. If any sidewalk is blocked during construction, alternate routes for pedestrians and bicycles shall be clearly marked with signs approved by the City.

- v. All access points shall be clearly marked during construction, and if an access point is blocked during construction, a detour sign to an alternate access point shall be clearly posted.
  - vi. A detailed timeline outlining the course of drilling, grading/construction work that will take place on the property.
- f. Any easement(s) that are encumbered by the placement of the industrial buildings shall be revised to the satisfaction of the corresponding easement holder(s) and subsequently recorded on the subject property. A copy of said recordation shall be submitted to the City for inclusion in the entitlement file.
- g. A solid decorative masonry walls or concrete walls incorporating architectural reveals consistent with the building's design shall be located along the full expanse of the property lines. Access gates into these areas shall be decorative in nature and fabricated of high gauge metal to withstand continual wear and tear. Furthermore, to deter graffiti creeping vines or similar shall be planted along portions of the walls along the west property line that faces the 57 freeway. All walls and gates shall be designed with colors, materials, and of a design satisfactory of the Development Services Director or his/her designee.
- h. Each industrial site shall provide a minimum of two EV charging stations located within the publicly accessible portion of the parking lot.
- i. All landscaping trees shall be minimum of 36-inch box specimens or greater.
7. All waste bins shall be kept within the fully secured and lockable trash enclosure so as not to be visible from the parking lot and adjacent street.
8. Prior to any modification of the floor plans that would affect parking as stipulated in the zoning code, the applicant shall obtain written approval from the Director of Development Services or his/her designee.
9. All at-grade and roof mounted mechanical equipment shall be screened from public view to the satisfaction of the Development Services Director and/or their designee.
10. The applicant and/or property owner(s) shall be responsible for maintaining their respective properties, including the landscaped areas, walkways, and all paved surfaces, free from graffiti, debris and litter. Graffiti shall be removed by the applicant/business owner(s) within 72 hours of defacement and/or upon notification by the City.
11. Prior to issuance of building permits, the applicant must follow the procedure for approval under the MWELo for all proposed landscaping on the subject site. A MWELo procedure and approval package is available from the front counter in the Development Services Department.

12. At the request of the Director of Development Services, applicant and/or property owner will provide a Parking Management Plan at their own expense to be reviewed by the Director of Development Services to remedy any parking concerns that may arise with the project. The staff review of the parking management plan will be at the expense of the property owner/property management company.
13. Developer shall pay in full to the City of Placentia, all applicable citywide Development Impact Fees required pursuant to Title 5 of the Placentia Municipal Code, prior to issuance of the first building permit.
14. Developer and/or property owner agrees to approve the incorporation of the project into the Landscape Maintenance District No. LMD 1992-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into LMD No. 1992-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
15. Developer and/or property owner agrees to approve the incorporation of the project into the Street Lighting District No. SLD 1981-01 pursuant to the provisions of California Streets and Highways Code Section 22500, et seq. Said annexation into SLD No. 1981-01 shall be fully completed in accordance with California law prior to issuance of any Certificate of Occupancy for the project.
16. Developer and/or property owner agrees that the City may, at its sole election, require that, instead annexing into SLD 1981-01 and/or LMD 1992-1, the project shall be incorporated into a Community Facilities District to be created by the City pursuant to the provision of California Government Code Section 53311, et seq; the purpose of which, and the initial amount of the taxes and assessments thereunder, will be substantially the same, in whole or in part, as SLD 1981-1 and/or LMD 1992-1. Developer and/or property owner agrees to approve the incorporation of the project into said Community Facilities District.
17. Prior to the issuance of any building permits, submit the following for the approval of the Director of Development Services:
  - a. An exterior lighting (photometric) plan showing location, type of fixtures and-areas of illumination shall be submitted and reviewed for compliance with City standards and the PMC. Lighting shall neither negatively impact adjacent properties nor the public right-of-way.
  - b. Landscape and irrigation plans.
18. The applicant and/or property owner(s) shall provide a title report or similar instrument documenting a recorded reciprocal access easement for uninhibited use of the driveway that begins at Monroe Way and leads to the entrance of the parcel in which the proposed building is located.
19. The building cannot be occupied, the final Certificate of Occupancy cannot be

approved, and utilities cannot be released until the following is completed for each respective portion of the property:

- a. The property owner(s) and/or their successor(s) willfully agree to annex into those district(s) for the project area identified by Condition Nos. 14-16 above. If any of the subject properties are sold prior to annexation into the two districts, the future property owner(s) must complete the annexation process and no Certificate of Occupancy shall be issued prior to completion of annexation.
- b. The property owner(s) shall pay in full all applicable impact fees associated with the development project.

**DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION:**

20. Building plans (architectural and structural) shall be designed and prepared by a licensed California architect or civil/structural engineer.
21. Grading plans (rough and precise) shall be designed and prepared by a licensed California civil engineer. Grading plans shall include erosion control, perimeter walls, utility, sewer and water, power poles (overhead to underground), street improvement plans.
22. Entire building shall be equipped with automatic fire-sprinkler plans throughout. Fire sprinkler plans shall be reviewed and approved by the O.C. Fire Authority prior to the installations.
23. Total actual floor area shall not exceed allowable floor area set by the 2016 California Building Code.
24. Landscape plans shall be designed and prepared by a licensed California landscape architect; all related plumbing fixtures shall be in compliance with the 2016 California Plumbing and Green Building Codes.

**PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION:**

25. All public works improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required. See attached Templates provided by the City.
26. Prior to issuance of Certificate of Occupancy or building final, all existing and new utilities including electric power, telephone, telecommunication fiber and/or cable TV in the street adjacent to and on-site shall be placed underground in accordance with the City of Placentia standards and ordinances.
27. Prior to issuance of a Certificate of Occupancy, the engineer of record shall submit all approved project plans on an AutoCAD DWG and DFX formatted

Compact Disc (CD) to the Public Works Department.

### **Demolition**

28. Provide a full set of plans for demolition of the existing facilities and utilities, including above ground and underground structures, footings, utilities, vaults, fences, walls, sewer lines, storm drain pipes, waterlines, etc., Plans shall address conditions and procedures, as are necessary, to show that the demolition work will be conducted without creating a hazardous condition, when excavating next to other existing footings, walls and slopes. A separate demolition permit is required from the Building Department, prior to performing any kind of demolition on site.
29. A copy of the Grant deed and owner's permission on the application for demolition is required at the time of issuance of the permit.
30. The existing sanitary sewer line has to be removed and capped at the property line. The sewer cap shall be inspected, and shall not be covered until an inspection has been made by the Department of Public Works Inspector. This inspection shall be requested at least 24 hours before the inspection is needed.
31. Provide AQMD Rule 1403 permit number, prior to starting any demolition work.
32. It is the applicant's responsibility to notify all utility companies and the City of Placentia for disconnection and removal of the existing utilities, vaults and meters. It is also the applicant's responsibility to insure applicant notifies the Building Inspection Division that these utilities have been properly disconnected.
33. Provide an erosion control, Storm Water Pollution Prevention Plans (SWPPP) for protection of the site during and post demolition and excavation activities.

### **Grading**

34. Prior to the issuance of a grading permit, the applicant shall prepare a Low Impact Development (LID) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and/or non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP) and LID Implementation Guideline. Website available at (<http://ocwatersheds.com/publiced/residents/qltd>) Particular attention should be addressed to the appendix section "Best Management Practices for priority redevelopment." The LID shall clearly show the locations of structural or Nonstructural BMP's, and assignment of long-term maintenance responsibilities. The plan shall be prepared to the general form and content and submitted to the Director of Public Works/City Engineer for review and approval.
35. Prior to the issuance of a grading permit, the applicant shall prepare and submit a Water Quality Management Plan (WQMP) specifically identifying the Best

Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long-term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the general form and content shown in the City of Placentia's WQMP Template and shall be submitted to the City Engineer for review and approval. Website available at (<http://www.placentia.org/index.aspx?nid=262>)

36. Prior to the issuance of a grading permit, the applicant shall demonstrate to the City Engineer that coverage has been obtained under the California's General Permit for Discharge of Storm Water Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number to the City Engineer. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. Prior to the issuance of a grading permit, the applicant shall submit to the City Engineer for review a Storm Water Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP shall be kept at the project site and available for review upon request.
37. Prior to the issuance of grading permits, the applicant shall prepare and submit a precise grading plan prepared by a licensed civil engineer to the Engineering Division of the Public Works Department showing building footprints, new and revised pads and elevations of finished grades, drainage routes, retaining walls, erosion control, slope easements, structural best management practices (BMPs) conforming to the approved water quality management plan, and other pertinent information. The project development shall accept and make provisions for the existing surface water that are the natural flows from the adjacent properties immediately abutting to the development site.
38. Prior to approval of the final design plans and issuance of a grading permit, the applicant shall conduct a site-specific geotechnical investigation for the entire site and prepare a report that fully assesses the geologic and soil conditions of the site. As part of the report preparation, soil sampling and any geotechnical testing will be completed at each location where structures are to be erected. The report shall provide grading and structural design recommendations for avoiding liquefaction, subsidence or collapse for each of the proposed structures. The recommendations shall be implemented by the Applicant.
39. Prior to the issuance of a grading permit, erosion control plans and notes shall be submitted and approved by the Engineering Division of Public Works Department.
40. All private slopes of 4 feet or more in vertical height and of 4:1 or greater slope,

but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy.

41. The development site shall be graded to drain surface water to the existing City storm drain system with no cross-lot drainage permitted. Drainage shall be indicated on the precise grading plans.
42. Surety and agreement guaranteeing completion of all on-site grading improvements including drainage, structural BMPs, erosion control, grading operations shall be posted and executed to the satisfaction of the City Engineer prior to the issuance of grading permits.
43. The final grading plan for this parcel shall be substantially the same, specifically with regard to pad elevations, size, and configuration; as the proposed grading illustrated on the approved site plan.
44. All parking, common, and storage areas shall be lighted to maintain a minimum of 1-foot candle power. These areas should be lighted from sunset to sunrise and be on photo censored cell.
45. The site grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency with each other and for consistency with the requirements and standards of the City of Placentia.
46. The applicant shall provide a quitclaim or provide new easements for any existing easement that may be in conflict with the proposed improvements prior to issuance of grading permit.
47. Provide and identify all pavement and driveway paving materials used inside the development areas.
48. Identify all storm drain structures, types, sizes and specifications on the plans.
49. Preliminary WQMP shall include a feasibility check to ensure the proposed infiltration BMPs are not proposed to be within 100 feet horizontally of a water supply well and/or non-potable well for the protection of groundwater quality per Orange County TGD. Golden State Water Company currently operates a water well pump at the northwest corner of Bradford Avenue and Crowther Avenue.

#### **Public Improvements and Construction**

50. All public improvements shown on the plans shall be constructed to City of Placentia standards, ordinances, policies and/or reasonably determined by the City Engineer to be applicable to the project.

#### **Storm Drain Improvements and Construction**

Resolution No. PC-2019-06

Page 12 of 14

51. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the Public Works Director.
52. Drainage easements, when required, shall be shown on the grading plans and noted as follows: "Drainage Easement - no buildings, obstructions, or encroachments are allowed."
53. The project shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. The storm drain design and improvements shall be subject to review and approval by City Engineer. The hydraulics and hydrology report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, BMP treatment and LID, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood per the Orange County Hydrology Manual. The project development shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site. If the quantities exceed the existing downstream capacity, the developer shall provide adequate drainage facilities to mitigate the impact as approved by the City Engineer.
54. Prior to the approval of the improvement plans, the hydrology study shall show that the 25-year storm flow will be contained within the street from curb to curb and the 100-year storm flow shall be contained within the street right-of-way. When either of these criteria are exceeded, additional drainage facilities shall be installed. All analysis shall comply with the Orange County Hydrology Manual and County Local Drainage Manual.
55. The post development peak flow rate generated from the project site shall be less than or equal to the pre-development peak flow rate from the site for all frequency storms up to and including 100-year return.
56. Drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency flow bypass shall also be provided as approved by City Engineer.

### **Sewer line Improvements and Construction**

57. Sewer flow calculations justifying pipe line design and connection to the main shall be prepared by a registered civil engineer and submitted as a part of an improvement plan for approval by the City Engineer. Provide sewer capacity analysis to evaluate the proposed sewer flow rates into the City sewer system using current flow rate and for pipeline capacity availability. See attached for Sewer Capacity Guidelines.
58. Prior to issuance of building permit, the developer's engineer shall analyze and

mitigate any sewer system deficiencies for all phases of the proposed development. Results of the system analysis may require special construction such as booster pumps, upsize the downstream pipes and backwater valves. The engineering analysis and special construction requirements shall be subject to review and approval of City Engineer.

59. Onsite water improvement and fire protection plans shall be approved by the Fire Marshal, the local water district, and City Engineer. The water distribution lines and appurtenances shall conform to the applicable laws and adopted regulations enforced by the Golden State Water Company.
60. Prior to the issuance of a building permit, the applicant shall dedicate ingress and egress of the access route within the project site and improve it fully operational as required by the Orange County Fire Authority and satisfaction to the City Engineer.
61. The applicant shall submit a Will Serve Letter from Orange County Sanitation District and Golden State Water Company.

**FIRE AUTHORITY:**

62. All building plans shall be submitted to the City's Fire Department (or contracted Fire Department/Fire Code plan checker) for review and approval. Approval of building plans by the City's Fire Department (or contracted Fire Department/Fire Code plan checker) shall be obtained prior to issuance of any building or demolition permits.

# NEW WAREHOUSE & OFFICE @ MONROE WAY, PLACENTIA 92870

APN: 339-102-21

**VICINITY MAP:**



**PROPERTY DATA:**

APN:	339-102-21
ZONING:	M – MANUFACTURING
SITE AREA:	16,257 S.F.
LANDSCAPE AREA:	2,427 S.F.
BUILDING FOOTPRINT:	6,460 S.F.
TYPE OF CONSTRUCTION:	III-B
OCCUPANCY:	S-1 / B
NUMBER OF STORIES:	2
BUILDING FOOTPRINT:	3,800 S.F.
TOTAL FLOOR AREA:	6,968 S.F.
FIRST FLOOR AREA:	3,373 S.F.
OFFICE (B):	325 S.F.
WAREHOUSE (S-1):	2,931 S.F.
STORAGE (S-1):	410 S.F.
SECOND FLOOR AREA:	3,595 S.F.
OFFICE (B):	3,496 S.F.
STORAGE (S-1):	99 S.F.

**CODES IN EFFECT:**

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

**SCOPE OF WORK:**

1. CONSTRUCTION OF NEW 7,600 S.F. 2 STORY WAREHOUSE AND OFFICE METAL SIDED, STEEL FRAMED BUILDING.
2. CONSTRUCTION OF NEW CMU BLOCK TRASH ENCLOSURE.
3. NEW SLURRY ASPHALT PARKING LOT.
4. NEW 15 STRIPED PARKING STALLS INCLUDING (1) VAN ACCESSIBLE STALL WITH ACCESS AISLE.
5. NEW (2,274 S.F.) OF LANDSCAPING AREA PER CITY STANDARDS.

**OWNER/DESIGN TEAM:**

**OWNER:**  
KENT DAHLBERG  
NEW DIMENSION GENERAL CONSTRUCTION  
5753 SANTA ANA CANYON RD, G-627  
ANAHEIM HILLS, CA 92807  
TEL: (714) 348-8081

**CIVIL ENGINEER:**  
SPC GEOTECHNICAL, INC.  
685 N. SHEPARD ST.  
ANAHEIM, CA 92806  
TEL: (714) 630-0321

**PROJECT DESIGNER:**  
RPO DESIGNS  
11662 WEST ST.  
GARDEN GROVE, CA 92840  
TEL: (714) 504-6470

**SHEET INDEX:**

- C1. COVER SHEET, PROJECT INFO & NOTES
- 1 OF 2 TOPOGRAPHIC SURVEY
- 2 OF 2 TOPOGRAPHIC SURVEY
- C4. PROPOSED ARCHITECTURAL SITE PLAN
- C5. ACCESSIBLE PARKING PLAN & DETAILS
- L1.1. PRELIMINARY LANDSCAPE PLAN
- GN. GENERAL NOTES
- A1. PROPOSED FIRST & SECOND FLOOR PLANS
- A2. PROPOSED FIRST & SECOND FLOOR EXITING & OCCUPANCY PLANS
- A3. PROPOSED FIRST & SECOND FLOOR FINISH PLAN
- A4. PROPOSED RESTROOM PLAN, DETAILS & NOTES
- A5. PROPOSED RESTROOM PLANS, DETAILS & NOTES
- A6. PROPOSED EXTERIOR ELEVATIONS & SECTION
- R1. RENDERING AND FINISHES

DESCRIPTION	DATE	BY
PLAN CHECK SUBMITTAL	1/9/19	RPO
PLAN CHECK RESUBMITTAL	3/19/19	RPO
PLAN CHECK RESUBMITTAL	6/5/19	RPO



**Prepared By:**  
RPO DESIGNS  
11662 WEST ST.  
GARDEN GROVE, CA 92840  
CONTACT: RANDY OROZCO  
TEL: (714) 504-6470  
EMAIL: randy@rpodesigns.com

**Project For:**  
NEW DIMENSION GENERAL CONSTRUCTION  
5753 SANTA ANA CANYON RD, G-627  
ANAHEIM HILLS, CA 92807  
TEL: (714) 348-8081

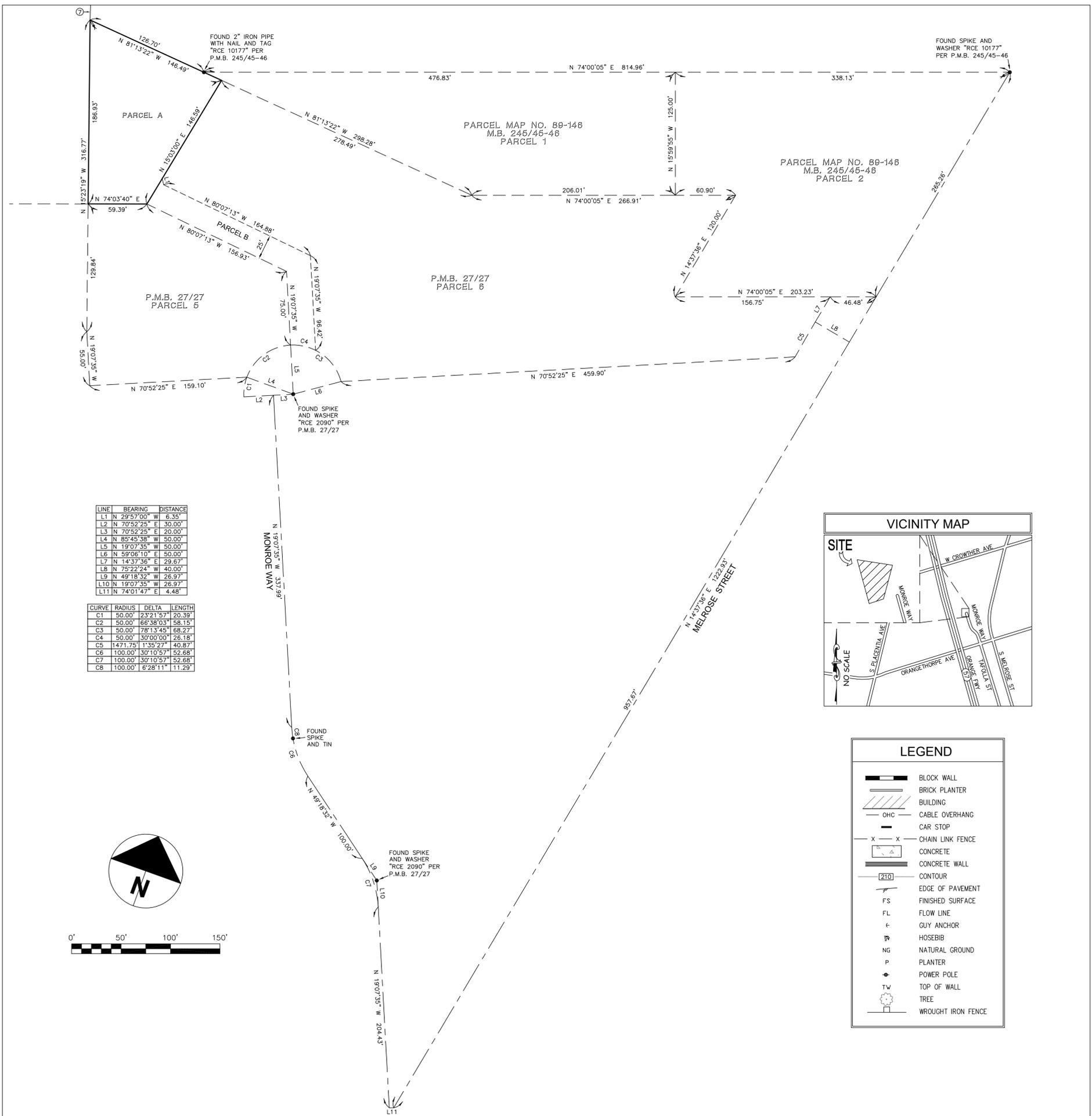
STAMP

**SHEET TITLE:**  
COVER SHEET, PROJECT  
INFO & NOTES

DATE: 7/1/18  
SCALE: AS NOTED  
DRAWN: R. OROZCO  
JOB: -  
SHEET NO:

C1

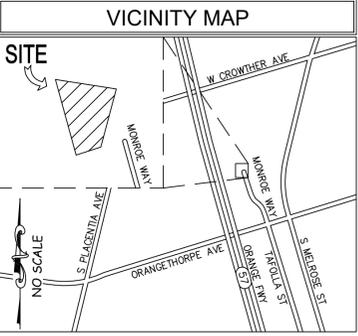
THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF RPO DESIGNS & SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH RPO DESIGNS. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS & SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF RPO DESIGNS PRIOR TO THE START OF ANY WORK.



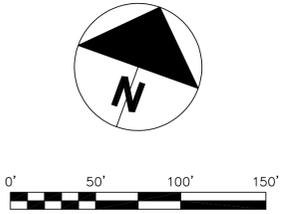
LINE	BEARING	DISTANCE
L1	N 29°57'00" W	6.35'
L2	N 70°52'25" E	30.00'
L3	N 70°52'25" E	20.00'
L4	N 85°45'38" W	50.00'
L5	N 19°07'35" W	50.00'
L6	N 59°06'10" E	50.00'
L7	N 14°37'36" E	29.67'
L8	N 75°22'24" W	40.00'
L9	N 49°18'32" W	26.97'
L10	N 19°07'35" W	26.97'
L11	N 74°01'47" E	4.48'

CURVE	RADIUS	DELTA	LENGTH
C1	50.00'	23°21'57"	20.39'
C2	50.00'	66°38'03"	58.15'
C3	50.00'	78°13'45"	68.27'
C4	50.00'	30°00'00"	26.18'
C5	1471.75'	1°35'27"	40.87'
C6	100.00'	30°10'57"	52.68'
C7	100.00'	30°10'57"	52.68'
C8	100.00'	6°28'11"	11.29'



LEGEND	
	BLOCK WALL
	BRICK PLANTER
	BUILDING
	CABLE OVERHANG
	CAR STOP
	CHAIN LINK FENCE
	CONCRETE
	CONCRETE WALL
	CONTOUR
	EDGE OF PAVEMENT
	FINISHED SURFACE
	FLOW LINE
	GUY ANCHOR
	HOSEBIB
	NATURAL GROUND
	PLANTER
	POWER POLE
	TOP OF WALL
	TREE
	WROUGHT IRON FENCE



**TICOR TITLE**  
 ORDER NO.: 00523328-988-DN1  
 DATED: MARCH 15, 2018

**LEGAL DESCRIPTION:**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:  
 THAT PORTION OF BLOCK H OF THE KRAEMER TRACT, IN THE CITY OF PLACENTIA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 12, PAGE(S) 87 AND 88 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF PARCEL 3 OF THAT LAND CONVEYED TO R. M. MOORE BY DEED RECORDED AUGUST 18, 1931 IN BOOK 498, PAGE 333 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY; THENCE SOUTH 15° 23' 27" EAST 187.15 FEET TO THE EASTERLY TERMINUS OF THAT COURSE DESCRIBED AS NORTH 74° 03' 32" EAST, 108.40 FEET IN DEED (SATE PARCEL A6086) RECORDED SEPTEMBER 30, 1966 IN BOOK 8063, PAGE 477 OFFICIAL RECORDS; THENCE ALONG THAT COURSE HAVING A BEARING AND DISTANCE OF SOUTH 73° 05' 17" WEST 167.77 FEET AS DESCRIBED IN DEED (STATE PARCEL A60987) RECORDED DECEMBER 30, 1966 IN BOOK 8140, PAGE 906 OFFICIAL RECORDS, NORTH 74° 03' 32" EAST 59.39 FEET TO THE EASTERLY TERMINUS OF LAST SAID COURSE; THENCE NORTH 15° 03' 00" EAST, 146.77 FEET AND NORTH 81° 12' 49" WEST, 146.61 FEET ALONG THOSE COURSES DESCRIBED AS SOUTH 14° 03' 15" WEST, 11.06 FEET, SOUTH 14° 03' 15" WEST, 135.71 FEET, AND SOUTH 82° 10' 36" EAST, 146.61 FEET IN SAID DEED (STATE PARCEL A6087), TO THE POINT OF BEGINNING.

PARCEL B:  
 AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES OVER A PORTION 6 AS SHOWN ON A MAP RECORDED IN BOOK 27 PAGE 27 OF PARCEL MAPS, AS SET FORTH IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED JUNE 6, 1984 AS INSTRUMENT NO. 84-233846 OF OFFICIAL RECORDS, AND IS MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF PARCEL 6, THENCE NORTH 15° 03' 00" EAST, 30 FEET ALONG THE NORTHWESTERLY BOUNDARY OF PARCEL 6; THENCE SOUTH 29° 57' 00" EAST 6.35 FEET, THENCE SOUTH 80° 07' 13" EAST, 164.88 FEET, THENCE SOUTH 19° 07' 35" EAST 96.42 FEET TO A POINT ON A SOUTHWESTERLY LINE OF SAID PARCEL 6 AND NON-TANGENT CURVE OF THE CUL-DE-SAC OF MONROE WAY, SAID CURVE IS CONCAVE SOUTHERLY HAVING A RADIUS OF 50 FEET, A RADIAL THROUGH SAID POINT BEARS SOUTH 10° 52' 25" WEST, THENCE 26.18 FEET WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30° 00' 00" THENCE LEAVING SAID CUL-DE-SAC RIGHT OF WAY CURVE BUT CONTINUING ALONG A SOUTHWESTERLY LINE OF SAID PARCEL 6 AND RADIAL TO SAID CURVE, NORTH 19° 07' 35" WEST, 75.00 FEET; THENCE NORTH 80° 07' 13" WEST, 156.93 FEET TO THE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 339-102-21  
 AREA: 16, 222.93 S.F. (0.372 ACRES)

- SCHEDULE B EXCEPTION ITEMS:**
- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
  - 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:  
 PURPOSE: PIPELINES  
 RECORDING DATE: JUNE 1935  
 RECORDING NO: IN BOOK 756, PAGE 267 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND (BLANKET)
  - 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:  
 PURPOSE: IRRIGATION DITCHES  
 RECORDING DATE: SEPTEMBER 3, 1897  
 RECORDING NO: BOOK 35, PAGE 33 OF DEEDS  
 AFFECTS: A PORTION OF SAID LAND (BLANKET)
  - 7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: NOVEMBER 20, 1970  
 RECORDING NO: 9467, PAGE 210 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF THE LAND DESCRIBED HEREIN. (PLOTTED)
  - 10 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
 GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY  
 (NO REPRESENTATION IS MADE AS TO THE PRESENT OWNERSHIP OF SAID EASEMENT)  
 PURPOSE: IRRIGATION LINES  
 RECORDING DATE: JULY 12, 1971  
 RECORDING NO: BOOK 9714, PAGE 877 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF THE LAND DESCRIBED HEREIN.  
 (UNABLE TO PLOT, EASEMENTS ARE LOCATED IN PARCELS 1 THROUGH 5, AND 7 THROUGH 9, AND 12 OF P.M.B. 27/27)

**BASIS OF BEARINGS:**  
 THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF MONROE WAY, BEING N 19° 07' 35" W AS SHOWN ON PARCEL MAP FILED IN BOOK 27, PAGE 27, RECORDS OF ORANGE COUNTY.

**BENCH MARK:**  
 COUNTY OF ORANGE BENCHMARK NO. 404-33-05  
 ELEVATION = 219.522 FEET (NAVD 88 DATUM) 2006  
 DESCRIBED BY OCS 2005- FOUND 3 3/4" ODS ALUMINUM BENCHMARK DISK STAMPED "404-33-05", SET IN THE SOUTHEASTERLY CORNER OF A 4 FT. BY 22 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF CROWTHER AVENUE AND MELROSE STREET 280 FT. EASTERLY OF THE CENTERLINE OF MELROSE AND 28 FT. NORTHERLY OF THE CENTERLINE OF CROWTHER. MONUMENT IS ET LEVEL WITH THE SIDEWALK

**MONUMENT NOTES:**  
 ● = INDICATES FOUND MONUMENT AS DESCRIBED HEREON

PREPARED BY ME OR UNDER MY DIRECTION AND SUPERVISION  
 Atencio Payan, P.L.S. 7796  
 DATE: 10-24-2018



DATE	REVISIONS	INITIALS	TOPOGRAPHIC SURVEY		
			DRAWN AP	DATE	ADDRESS
			APPROVED	10/24/18	MONROE WAY PLACENTIA, CA 92870 APN: 339-102-21
			SCALE	SHEET	PROJECT NO.
			1" = 50'	1 OF 2	18103

**PAYAN SURVEYING, INC.**  
 2404 MARY CLARE STREET  
 CORONA, CA 92882  
 PHONE: 951-356-6456  
 EMAIL: atencio@payansurveying.com  
 PLS 7796



FOUND 2" IRON PIPE WITH  
NAIL AND TAG "RCE 1077"  
PER P.M.B. 245/45-46



**PAYAN SURVEYING, INC.**  
2404 MARY CLARE STREET  
CORONA, CA 92882  
PHONE: 951-356-6456  
EMAIL: atanacio@payansurveying.com  
PLS 7796

DATE		REVISIONS		INITIALS		TOPOGRAPHIC SURVEY		
						DRAWN	DATE	ADDRESS
						AP	10/24/18	MONROE WAY
						APPROVED	DATE	PLACENTA, CA 92870
								APN: 339-102-21
						SCALE	SHEET	PROJECT NO.
						1" = 10'	2 OF 2	18103

**PARKING SUMMARY:**

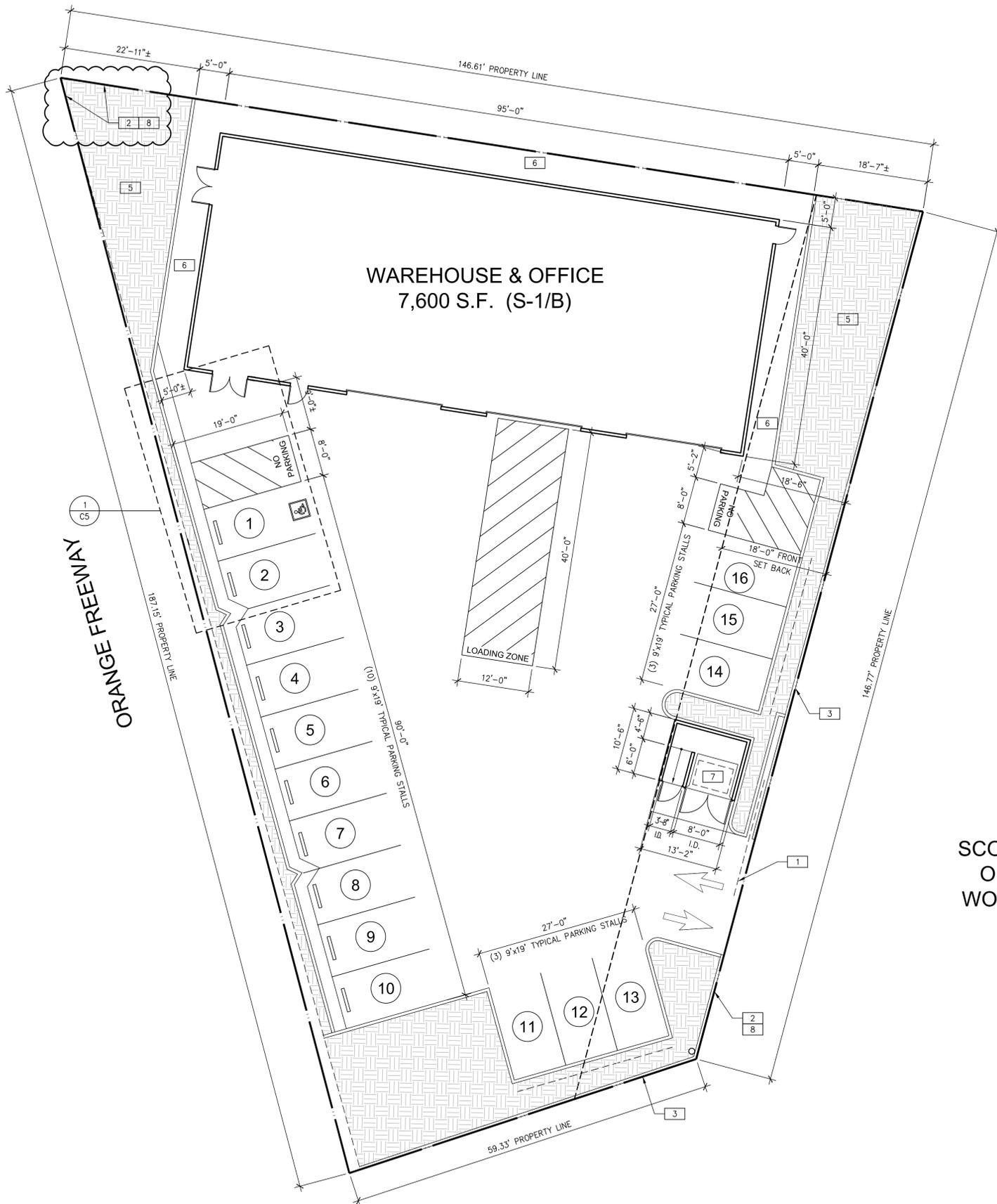
TWO (2) SPACES PER THOUSAND (1,000 S.F.) SQUARE FEET OF UNIT AREA FOR UP TO TWENTY THOUSAND SQUARE FEET. AREA: 7,600 S.F. / 500 S.F. = 15 SPACES REQUIRED

**SITE PLAN KEYNOTES:**

- 1 NEW 6' HIGH WROUGHT IRON SLIDING GATE.
- 2 EXISTING CHAIN-LINK FENCE TO BE REMOVED.
- 3 EXISTING CMU BLOCK WALL FENCE.
- 4 NEW SLURRY ASPHALT.
- 5 NEW LANDSCAPE AREA.
- 6 NEW CONCRETE HARDSCAPE AREA.
- 7 NEW 6' HIGH 6" THICK CMU BLOCK TRASH ENCLOSURE.
- 8 NEW 6' HIGH 6" THICK CMU BLOCK TO MATCH EXISTING.

**SITE LEGEND:**

- DIRECTION OF TRAFFIC.
- INDICATES NUMBER OF PARKING STALLS

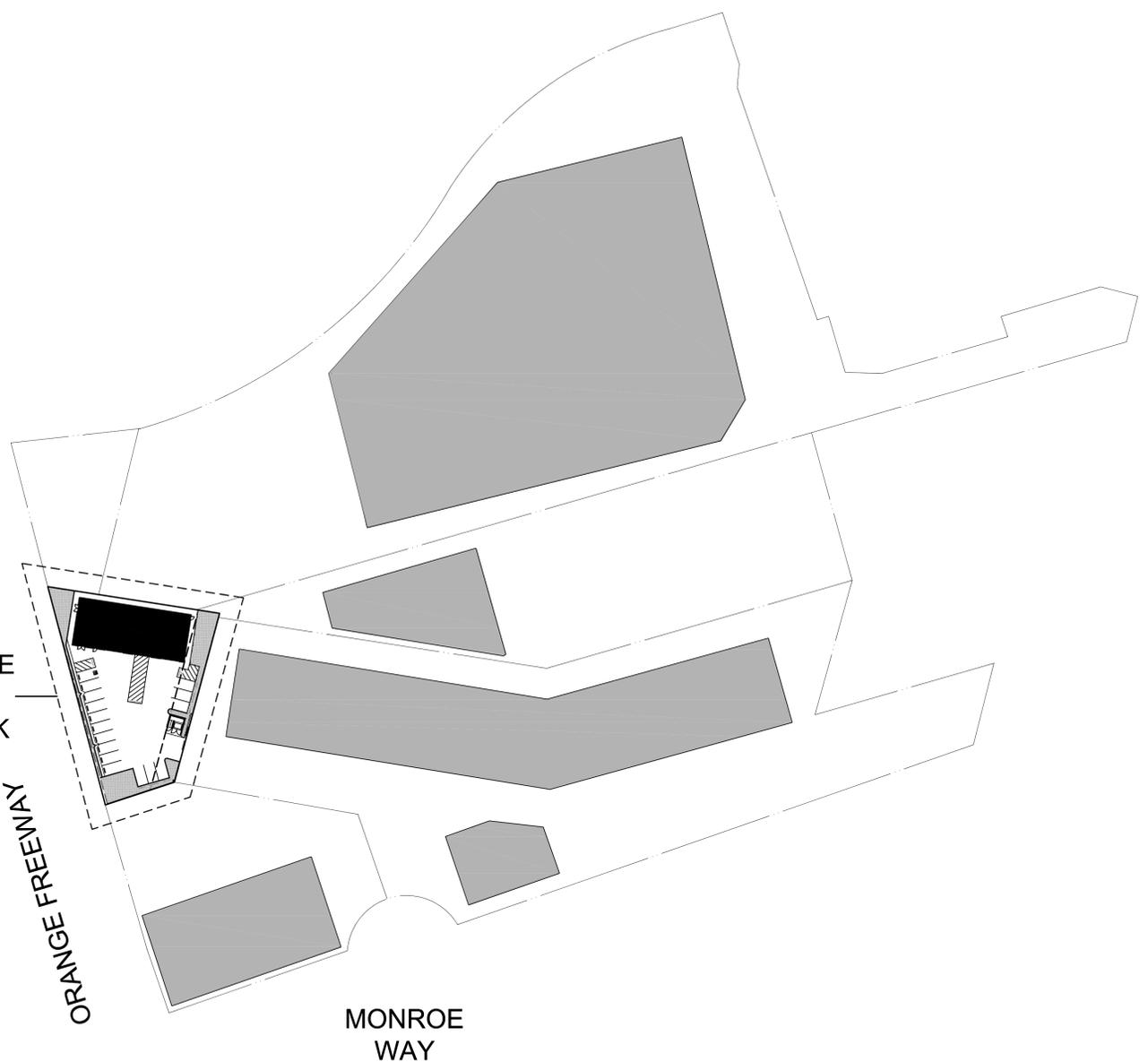


**PROPOSED ARCHITECTURAL SITE PLAN**  
SCALE: 1/16"=1'-0"



SCOPE OF WORK

ORANGE FREEWAY



**KEY PLAN**  
SCALE: 1/64"=1'-0"



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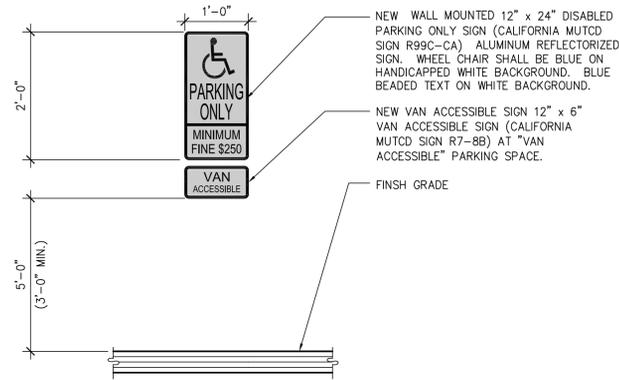
DESCRIPTION	DATE	BY
PLAN CHECK SUBMITTAL	1/9/19	RPO
PLAN CHECK RESUBMITTAL	3/19/19	RPO
PLAN CHECK RESUBMITTAL	6/5/19	RPO

Project For: NEW DIMENSION GENERAL CONSTRUCTION 5753 SANTA ANA CANYON RD. G-627 ANAHEIM HILLS, CA 92807 TEL: (714) 348-8081	Prepared By: RPO DESIGNS 11662 WEST ST. GARDEN GROVE, CA 92840 CONTACT: RANDY OROZCO TEL: (714) 504-6470 EMAIL: randy@rpodesigns.com
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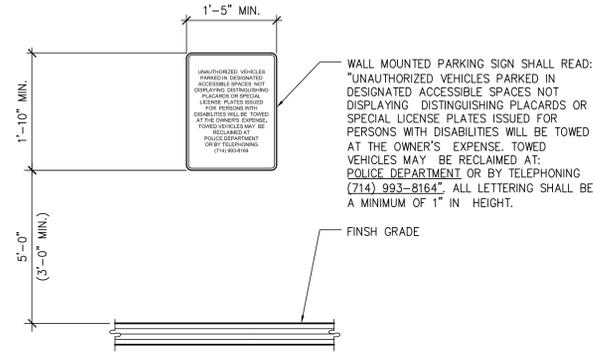
SHEET TITLE: PROPOSED ARCHITECTURAL SITE PLAN	DATE: 7/1/18
DRAWN: R. OROZCO	SCALE: AS NOTED
JOB: -	
SHEET NO: <b>C4</b>	



**VAN ACCESSIBLE PARKING SIGN**

SCALE: 3/4" = 1'-0"

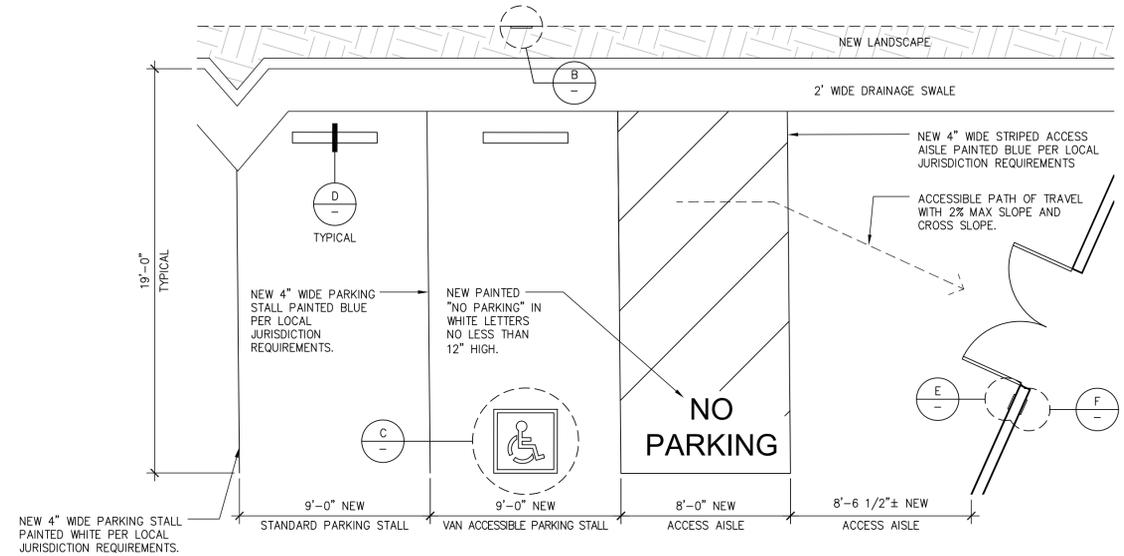
**B**



**ACCESSIBLE ENTRANCE SIGN**

SCALE: 3/4" = 1'-0"

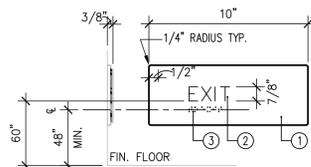
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**ACCESSIBLE PARKING PLAN**

SCALE: 1/4" = 1'-0"

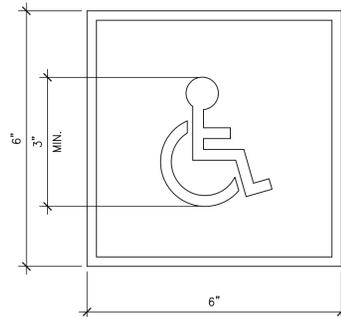
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**TACTILE EXIT SIGN**

SCALE: 3" = 1'-0"

**F**



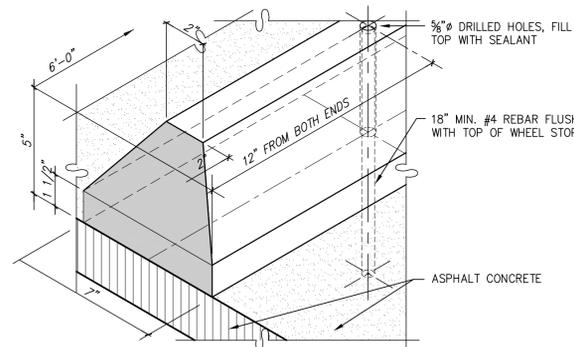
**ACCESSIBLE ENTRY SIGNAGE**

SCALE: 6" = 1'-0"

**E**

**NOTE:**

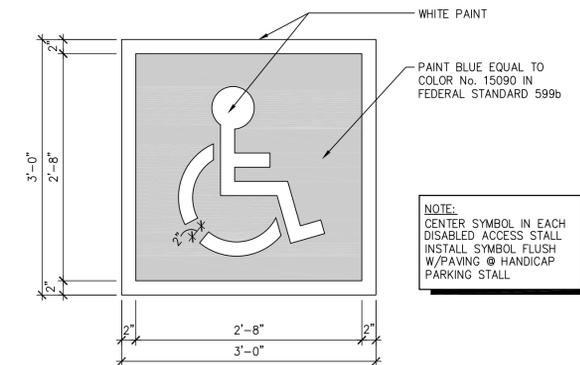
INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE POSTED AT ENTRANCES AND FACILITIES ACCESSIBLE AND USABLE BY INDIVIDUALS WITH DISABILITIES. SIGNAGE TO BE POSTED ON LATCH SIDE OF DOOR MOUNTED 60" ABOVE FINISH FLOOR WITH CHARACTERS AND NUMBERS MINIMUM 3" IN HEIGHT. SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND.



**PRECAST CONC. WHEEL STOP**

SCALE: 1/4" = 1'-0"

**D**



**ACCESSIBLE PAVEMENT STALL SIGNAGE**

SCALE: 1" = 1'-0"

**C**

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DESCRIPTION	DATE	BY
PLAN CHECK SUBMITTAL	1/9/19	RPO
PLAN CHECK RESUBMITTAL	3/19/19	RPO
PLAN CHECK RESUBMITTAL	6/5/19	RPO



Prepared By:  
**RPO DESIGNS**  
 11662 WEST ST.  
 GARDEN GROVE, CA 92840  
 CONTACT: RANDY OROZCO  
 TEL: (714) 504-6470  
 EMAIL: randy@rpodesigns.com

Project For:  
**NEW DIMENSION GENERAL CONSTRUCTION**  
 5753 SANTA ANA CANYON RD. G-627  
 ANAHEIM HILLS, CA 92807  
 TEL: (714) 348-8081

STAMP

SHEET TITLE:  
 ACCESSIBLE PARKING PLAN & DETAILS

DATE: 7/1/18

SCALE: AS NOTED

DRAWN: R. OROZCO

JOB: -

SHEET NO:

**C5**



### PLANTING LEGEND

SYMBOL BOTANICAL / COMMON NAME SIZE REGION 3 WUCOLS SOUTH COASTAL

**PROPOSED TREES**

	TRISTANIA CONFERTA / BRISBANE BOX	24" BOX STANDARD	MOD
	PINUS CANARIENSIS / CANARY ISLAND PINE	24" BOX STANDARD	MOD

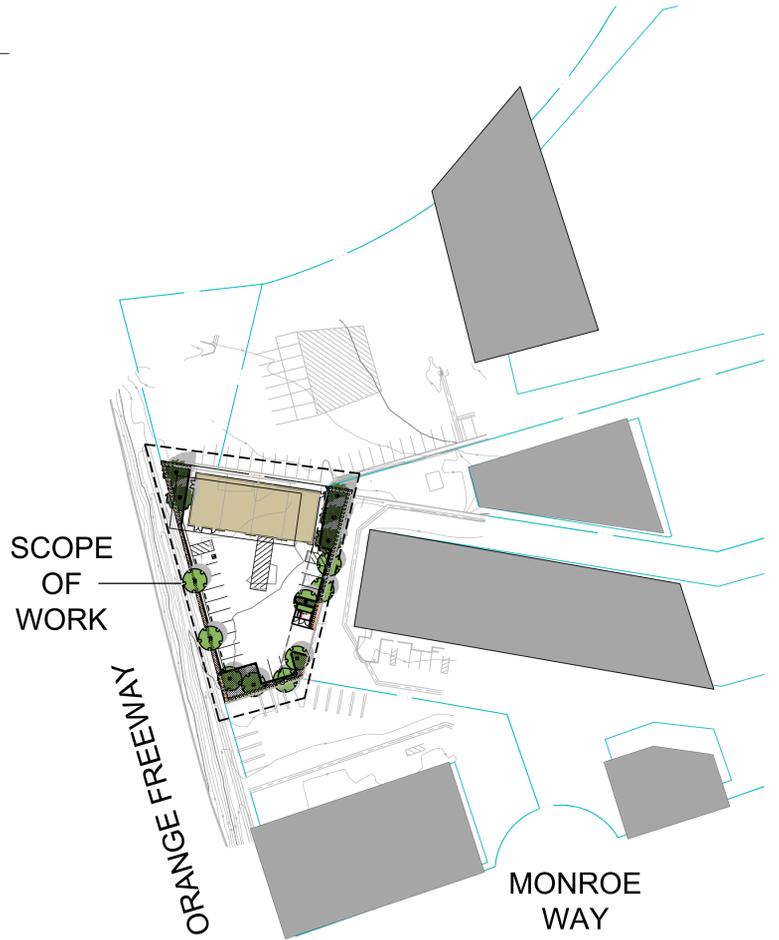
**PROPOSED SHRUBS**

	ELEAGNUS PUNGENS / SILVERBERRY	5 GAL / 36" O.C.	LOW
	ACHILLEA 'MOONSHINE' / YARROW	1 GAL / 36" O.C.	LOW
	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL / 24" O.C.	LOW
	LAVENDULA DENTATA / FRENCH LAVENDER	1 GAL / 30" O.C.	LOW
	PHORMIUM T. 'ATROPURPUREA' / NEW ZEALAND FLAX	5 GAL / 42" O.C.	LOW
	SALVIA GREGII / AUTUMN SAGE	1 GAL / 30" O.C.	LOW

**PROPOSED GROUNDCOVER & VINES**

	ROSMARINUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY	1 GAL / 18" O.C.	LOW
	MYOPORUM PARVIFOLIUM / MYOPORUM	1 GAL / 18" O.C.	LOW
	MACFADYENA UNGUIS-CATI / CAT'S CLAW	5 GAL / PER PLAN	LOW

- NOTES:**
1. ON-CENTER SPACINGS NOTED ON THE PLANT LEGEND TAKE PRECEDENCE OVER PLANT COUNTS OR SYMBOLS SHOWN ON THE DRAWING.
  2. CONTRACTOR TO SUBMIT SOIL PREPARATION AND BACKFILL SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL AT LEAST FOURTEEN (14) DAYS PRIOR TO INSTALLATION OF SOIL PREPARATION OR PLANT MATERIALS.
  3. SOIL PREPARATION AND BACKFILL AMENDMENTS PER SPECIFICATION AS RECOMMENDED BY AGRONOMIC SOIL TEST REPORT.
  4. PROVIDE LINEAR ROOT BARRIERS TO ALL TREES WITHIN 3'-0" OF HARDSCAPE.
  5. APPLY 3" DEEP LAYER OF APPROVED MULCH TO ALL SHRUB AND GROUNDCOVER AREAS.



PRELIMINARY LANDSCAPE PLAN  
SCALE: 1" = 10'-0"

KEY PLAN  
SCALE: 1/64" = 1'-0"

Colleen M. Nolan  
Landscape Architect, #5439  
7 Roble  
Rancho Santa Margarita, CA 92688  
714.743.7915 cell  
cnolan@cox.net

Prepared By: RPO DESIGNS  
11662 WEST ST.  
GARDEN GROVE, CA 92840  
CONTACT: RANDY OROZCO  
TEL: (714) 504-6470  
EMAIL: randy@rpoesigns.com

Project For: NEW WAREHOUSE & OFFICE  
MONROE WAY  
PLACENTIA, CA 92870

STAMP  
Colleen M. Nolan  
#5439  
(Signature)  
05.16.2019  
(Date)  
STATE OF CALIFORNIA

SHEET TITLE: PRELIMINARY LANDSCAPE PLAN

DATE: 03/11/2019  
SCALE: AS NOTED  
DRAWN: C. Nolan  
JOB: -  
SHEET NO: L1.1

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## FINISH NOTES

- NO FINISH SUBSTITUTIONS MAY BE MADE UNLESS THE TENANT, OWNER OR DESIGNER AUTHORIZE THE CHANGE IN WRITING..
- WHERE PAINT COLORS CHANGE, CORNERS ARE TO BE CUT-IN FREE OF OVERLAPPING.
- ALL FINISHES ARE TO BE APPLIED IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.
- CLASSES OF MATERIALS BASED UPON THEIR FLAME CHARACTERISTICS SHALL BE SET FORTH IN TABLE 803.9 OF THE I.B.C.
- THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED THAT SET FORTH IN TABLE 803.9 OF THE I.B.C.
- SMOKE DENSITY OF MATERIALS SHALL BE NO GREATER THAN 450 WHEN TESTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, STANDARD NO. 42-1 IN THE MANNER INTENDED FOR USE.
- APPLICATION OF CONTROLLED INTERIOR FINISHES SHALL BE IN CONFORMANCE WITH SECTION 803 OF THE C.B.C.
- ALL PAINT FINISH OF METAL PARTS OF DOORS, HANDRAILS, PERIMETER ENCLOSURES, ETC., SHALL BE SEMI-GLOSS, UNLESS OTHERWISE NOTED.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION FOR THE PARTICULAR SURFACE.
- ALL SURFACES SHALL BE PROPERLY PREPARED WITH SEALER PRIOR TO THE INSTALLATION OF WALL COVERING PER MANUFACTURER'S RECOMMENDATIONS.
- ALL V.C.T. TO BE INSTALLED WITH FULL TILE FROM VINYL THRESHOLD STRIP AND FULL TILE FROM WALL ADJACENT TO DOOR SWING, U.N.O.
- CONTRACTORS TO VERIFY FINISHED CONDITION AND LEVEL OF FLOOR TO RECEIVE NEW FINISHES TO BE WITHOUT BOWING AT FLOOR OR WALL BASE. CONTRACTOR IS RESPONSIBLE FOR ALL FLOOR PREPARATION.
- PROVIDE AND INSTALL SPECIFIED BASE FOR ALL AREAS TO RECEIVE FLOORING.
- COORDINATE INSTALLATION OF BASE WITH MILLWORK. DELETE BASE AT WALL WHERE BUILT-IN CABINETS ARE INDICATED.
- CONTRACTOR SHALL PROVIDE PRE-FORMED RUBBER BASE CORNERS. DO NOT CUT OR BEND STRAIGHT BASE TO MAKE CORNERS.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.

## POWER & SIGNAL NOTES

- COORDINATE TELEPHONE/DATA INSTALLATION WITH APPROPRIATE SUB-CONTRACTOR.
- ALL TELEPHONE AND DATA CABLE TO BE TEFLON COATED PLENUM RATED CABLE, SUPPORTED INDEPENDENTLY FROM SUSPENDED CEILING SYSTEM. CABLING TO BE SUPPLIED BY TENANT; ALL PULLS AND TERMINATIONS BY GENERAL CONTRACTOR.
- ALL OUTLETS TO BE INSTALLED AT LOCATIONS SHOWN BY DIMENSIONS ON THE POWER & SIGNAL PLAN. DIMENSION ALL OUTLETS FROM THE CENTERLINE OF THE OUTLET BOX. NON-DIMENSIONED OUTLETS ARE TO LOCATED AT THE NEAREST WALL STUD.
- WHEN OUTLETS ARE GROUPED TOGETHER (2 OR MORE), THEY ARE TO BE SPACED NO MORE THAN 2" APART.
- ALL NEW WALL MOUNTED 15, 20, AND 30 AMP RECEPTACLES OUTLETS TO BE INSTALLED AT +48" MAX HIGH REACH AND +15" MINIMUM LOW REACH ABOVE THE FINISH FLOOR.
- SWITCHES SHALL BE INSTALLED AT +48" MAX HIGH REACH AND +15" MINIMUM LOW REACH ABOVE THE FINISH FLOOR.
- WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR.
- CUT-OUTS FOR SWITCHES, OUTLETS, ETC. AS REQUIRED BY THE CABINET CONTRACTOR ARE TO BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, U.N.O. ALL RECEPTACLES WHERE MILLWORK OCCURS SHALL BE LOCATED PER ELEVATIONS OF THE MILLWORK ITEM IN QUESTION.
- ALL WALL COVER PLATES SHALL BE WHITE, UNLESS BUILDING STANDARD IS DIFFERENT. MATCH BUILDING STANDARD. CUT-OUTS FOR SWITCHES, OUTLETS, ETC. AS REQUIRED BY THE CABINET CONTRACTOR ARE TO BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, U.N.O. ALL RECEPTACLES WHERE MILLWORK OCCURS SHALL BE LOCATED PER ELEVATIONS OF THE MILLWORK ITEM IN QUESTION.
- ALL SEPARATE CIRCUIT RECEPTACLES TO BE DIFFERENT COLOR WITH BUILDING STANDARD COLOR COVER PLATE.
- WHEN PLYWOOD BACKBOARDS ARE REQUIRED IN TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS, THEY SHALL BE PAINTED TO MATCH ADJACENT WALL.
- PROVIDE ONE-HOUR FIRE PROTECTION AT ALL OUTLETS AND SWITCHES LOCATED IN ONE-HOUR RATED PARTITIONS.
- ALL EXISTING ELECTRICAL DEVICES ARE TO REMAIN UNLESS NOTED OTHERWISE.

## PARTITION PLAN NOTES

- CONTRACTOR AND DESIGNER TO REVIEW & APPROVE CHALK LINES OF PARTITION LAYOUT PRIOR TO COMMENCEMENT OF PARTITION CONSTRUCTION.
- FIELD MEASURE AS REQUIRED FOR ALL GLAZING AND MILLWORK CONDITIONS PRIOR TO FABRICATION.
- EXTEND ALL STUDS AND WALL MATERIALS TO CONSTRUCTION ABOVE, UNLESS OTHERWISE INDICATED.
- ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
- CONTRACTOR SHALL USE 2x6 STUDS MINIMUM AT ALL PLUMBING WALLS. CONTRACTOR TO VERIFY ACTUAL DEPTH REQUIRED, ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER.
- WATER RESISTANT GYPSUM BOARD AT ALL AREAS SUBJECT TO MOISTURE OR WHERE TILE IS USED.
- ALL HOT WATER LINES SHALL BE PROPERLY INSULATED. SEE PLUMBING DRAWINGS.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.
- DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM ADJACENT PARTITIONS.
- ALL MILLWORK SHALL CONFORM TO WIC CUSTOM STANDARDS.
- CONTRACTOR TO FURNISH & INSTALL 16 GAUGE GALVANIZED METAL WALL BACKING AT ALL BUILT-IN MILLWORK LOCATIONS, HANGING WALL EQUIPMENT, ETC. VERIFY EXACT LOCATIONS WITH MILLWORK & ACCESSORY CONTRACTORS.
- VERIFY ALL APPLIANCE & EQUIPMENT REQUIREMENTS WITH MANUFACTURERS. PROVIDE ALL NECESSARY WALL BACKING, BRACING, ELECTRICAL & PLUMBING SUPPLY, FITTINGS AND CONNECTORS TO SUPPORT OR COMPLETE INSTALLATION.
- UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD SURFACES, WALLS, AND CEILINGS SHALL BE TAPED AND FEATHERED SMOOTH TO RECEIVE A MINIMUM OF TWO COATS SEALER AND TWO COATS PAINT TO COVER.
- PREPARE ALL FLOORS AS REQUIRED TO RECEIVE NEW FINISHES.

## GENERAL PROJECT NOTES

### GENERAL NOTES:

- THIS PROJECT AND ALL WORK ASSOCIATED WITH PROJECT SHALL CONFORM TO THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE AS ADOPTED AND AMENDED BY THE CITY OF PLACENTIA. ALONG WITH THE CBC TITLE 24 HANDICAP REQUIREMENTS, AMERICANS WITH DISABILITIES AND OTHER CODES (CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, NATIONAL ELECTRICAL CODE, ETC.) AND ORDINANCES ENFORCED BY THE CITY OF PLACENTIA. IN CASES WHERE REQUIREMENTS CONFLICT, THE MOST RESTRICTIVE REQUIREMENT WILL BE USED.
- THE TERM "DESIGNER" AS USED IN THESE DOCUMENTS REFERS TO:  
RPO DESIGNS  
11662 WEST STREET  
GARDEN GROVE, CA 92840  
PHONE: (714) 504-6470
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF CONSTRUCTION AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY THE OWNER, TENANT, OR BOTH, WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER, OR TENANT, OR BOTH.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OTHER DRAWINGS, AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO DESIGNER CONSTRUCTION DRAWINGS. ANY DISCREPANCY BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
- THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO OCCUPANCY.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT.
- THE DESIGNER'S APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE DESIGNER SUCH DEVIATIONS AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM (GENERAL CONTRACTOR) FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.

### JOB SITE NOTES (CONTINUED):

- CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87, CFC SECTION 8701.
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CFC SECTION 901.4.4, FHPS POLICY P-00-6.

### DRAWING NOTES:

- UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE FROM FINISHED FACE TO FINISHED FACE OF WALL.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, UNLESS OTHERWISE NOTED.
- DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.

### VENTILATION NOTES:

- UNLESS OTHERWISE NOTED, ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY PEOPLE SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA, OR SHALL BE PROVIDED MECHANICALLY OPERATED VENTILATION SYSTEM. MECHANICALLY OPERATED WITH A VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MIN. 15 CUBIC FEET PER MIN. OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A REGISTER EXCEEDS 10 FEET PER SECOND, THE REGISTER SHALL BE PLACED MORE THAN 8 FEET ABOVE THE FLOOR DIRECTLY BENEATH. CBC SECTION 1203.
- UNLESS OTHERWISE NOTED, TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW AT LEAST 350 SQ. FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQ. INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 ADDITIONAL SQ. INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE AIR CHANGE EVERY 15 MIN. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. CBC SECTION 1203.

### TITLE 24 - ENERGY COMPLIANCE NOTES:

- ENVELOPE COMPLIANCE AND STATEMENT OF DESIGN COMPLIANCE: THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NON-RESIDENTIAL BUILDING SHALL BE REVIEWED AND COMPLIED WITH DURING THE CONSTRUCTION AND TENANT IMPROVEMENT WORK SCOPE OF THIS PROJECT.

## FLOORS & LEVELS

- ACCESSIBLE ROUTES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 11B-206 AND SHALL COMPLY WITH DIVISION 4. (11B-206.1)
- FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 11B-302. (11B-302.1)
- CHANGES IN LEVEL OF ¼ INCH (6.4 MM) HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. (11B-303.2)
- CHANGES IN LEVEL BETWEEN ¼ INCH (6.4 MM) HIGH MINIMUM AND ½ INCH (12.7 MM) HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (11B-303.3)
- CHANGES IN LEVEL GREATER THAN ½ INCH (12.7 MM) HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH SECTION 11B-405 OR 11B-406. (11B-303.4)
- CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE ½ INCH (12.7 MM) MAXIMUM. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH SECTION 11B-303. (11B-302.2)

## HAZARDS & PROTRUDING OBJECTS

- ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES (102 MM) IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES (152 MM) IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE. (11B-303.5)
- PROTRUDING OBJECTS SHALL COMPLY WITH SECTION 11B-307. (11B-307.1)
- OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. (11B-307.2)
- FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES (305 MM) WHEN LOCATED 27 INCHES (686 MM) MINIMUM AND 80 INCHES (2032 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A SIGN OR OTHER OBSTRUCTION IS MOUNTED BETWEEN POSTS OR PYLONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12 INCHES (305 MM), THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 INCHES (686 MM) MAXIMUM OR 80 INCHES (2032 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. (11B-307.3)
- VERTICAL CLEARANCE SHALL BE 80 INCHES (2032 MM) HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES (2032 MM) HIGH. THE LEADING EDGE OF SUCH GUARDRAIL BARRIER SHALL BE LOCATED 27 INCHES (686 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A GUY SUPPORT IS USED PARALLEL TO A CIRCULATION PATH, INCLUDING BUT NOT LIMITED TO SIDEWALKS, A GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT AN OVERHANG OBSTRUCTION. (11B-307.4)

## FIRE DEPARTMENT NOTES

- FIRE DEPARTMENT FINAL INSPECTION REQUIRED.
- LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE STANDARD 10-1 AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR. VERIFY QUANTITY & EXACT LOCATION FROM FIRE DEPARTMENT PRIOR TO ORDERING.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH CALIFORNIA FIRE CODE REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS.
- BUILDING(S) NOT APPROVED FOR HIGH-PILED STOCK (MATERIALS IN CLOSELY PACKED PILES OR ON PALLETS, OR IN RACKS WHERE THE TOP OF STORAGE EXCEEDS 12 FEET IN HEIGHT, AND 6 FEET FOR GROUP "A" PLASTICS AND CERTAIN OTHER HIGH-HAZARD COMMODITIES). HIGH-PILED STOCK SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO MATERIALS BEING STORED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH-PILED STORAGE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.
- INSTALL ONE 2-A-10-B-C FIRE EXTINGUISHER FOR EVERY 50'/75' OF TRAVEL OR EVERY 3,000 SF FIRE EXTINGUISHER LOCATIONS SHALL BE INDICATED ON THE ARCHITECTURAL FLOOR PLANS. (CALIFORNIA CODE OF REGULATIONS, TITLE 19, CHAPTER 5 AND CALIFORNIA FIRE CODE, SECTION 906.)
- INSTALL AN APPROVED KEY LOCKBOX PER THE FIRE PROTECTION ENGINEER'S DIRECTIONS. (CALIFORNIA FIRE CODE, SECTION 506.)
- EXIT PATHS SHALL BE ILLUMINATED ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT HAVING AN INTENSITY OF NOTE LESS THAN ONE FOOTCANDLE AT FLOOR LEVEL. POWER SHALL NORMALLY BE BY THE PREMISES WIRING WITH BATTERY BACKUP. EXIT ILLUMINATION SHALL BE INDICATED ON THE ELECTRICAL PLANS. (CALIFORNIA BUILDING CODE, SECTION 1006.)
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND PROVIDED WITH BATTERY BACKUP PER UNIFORM BUILDING CODE CHAPTER.
- EXIT SIGNS SHALL BE POSTED ABOVE EACH REQUIRED EXIT DOORWAY AND WHEREVER OTHERWISE REQUIRED TO CLEARLY INDICATED THE DIRECTION OF EGRESS. (CALIFORNIA BUILDING CODE, SECTION 1011.)
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND PROVIDED WITH BATTERY BACKUP PER UNIFORM BUILDING CODE CHAPTER
- EXIT SIGNS SHALL BE POSTED ABOVE EACH REQUIRED EXIT DOORWAY AND WHEREVER OTHERWISE REQUIRED TO CLEARLY INDICATED THE DIRECTION OF EGRESS. (CALIFORNIA BUILDING CODE, SECTION 1011.)
- COMPLY WITH ALL APPLICABLE PROVISIONS OF THE CALIFORNIA FIRE CODE AND THE CALIFORNIA BUILDING CODE. SUBMIT A COMPLETE FPE - HAZARDOUS MATERIALS INVENTORY STATEMENT. FPE - HAZARDOUS MATERIALS INVENTORY STATEMENTS SHALL BE OBTAINED FROM THE BUILDING INSPECTION DIVISION AND SUBMITTED FOR REVIEW BY THE FIRE PROTECTION ENGINEER. (ADDITIONAL HAZARDOUS MATERIALS FORMS, DISCLOSURE STATEMENTS, AND/OR OTHER DOCUMENTATION WILL BE REQUIRED BY THE ENVIRONMENTAL SAFETY SECTION OF THE FIRE AND ENVIRONMENTAL PROTECTION DIVISION.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS SIGNS SHALL BE A MINIMUM OF 6" IN HEIGHT. (MOUNTAIN VIEW CITY CODE, SECTION 14.10.20.)
- A SPECIAL INSPECTION, BY A THIRD PARTY INSPECTOR, SHALL BE CONDUCTED AFTER INSTALLATION OF THE PAINT BOOTH. THE INSPECTION SHALL INDICATE CONFORMANCE WITH NFPA 33 REQUIREMENTS AND CFC 906. THE INSPECTION REPORT SHALL BE SUBMITTED TO THE CITY OF PLACENTIA FIRE PROTECTION ENGINEER FOR APPROVAL, PRIOR TO ANY FINAL INSPECTIONS.

## CEILING NOTES

- ALL JUNCTION BOXES AND MECHANICAL EQUIPMENT REQUIRING ACCESS FOR SERVICE SHALL BE LOCATED OVER ACOUSTICAL CEILINGS. NO ACCESS HATCHES SHALL BE INSTALLED IN GYPSUM BOARD CEILINGS WITHOUT PRIOR APPROVAL BY DESIGNER. (NO EXCEPTION)
- NO COMBUSTIBLE MATERIALS SHALL BE USED IN THE PLENUM SPACE, INCLUDING ALUMINUM FLEX, ALUMINUM CONDUIT, AND POT METAL CONNECTORS.
- CONDUIT ABOVE CEILING MUST BE A MINIMUM OF 12" ABOVE THE CEILING GRID.
- PROVIDE FULLY CONCEALED SPRINKLERS IN GYP. BOARD CEILINGS, AS APPLICABLE..
- LOCATIONS OF CEILING DEVICES, SUCH AS AIR DIFFUSERS, GRILLES, LIGHT FIXTURES, ETC., SHALL BE AS SHOWN ON DESIGNER REFLECTED CEILING PLAN. WHERE DISCREPANCIES IN LOCATION OCCUR, THE ARCHITECTURAL PLAN SHALL GOVERN. NOTIFY DESIGNER OF ANY DISCREPANCIES FOR CLARIFICATIONS.
- PLACEMENT OF LIGHT FIXTURES IN AREAS WHERE MAIN DUCTS MAY CAUSE INTERFERENCE MUST BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.
- FIELD VERIFY ALL CLEARANCES OF DUCTS, PIPES, SPRINKLERS, ETC., AND NOTIFY DESIGNER OF ANY CONFLICTS PRIOR TO INSTALLATION OF LIGHTS, ETC.
- VERIFY ACTUAL CEILING GRID LOCATION AND NOTIFY DESIGNER OF ANY DISCREPANCIES.
- LOCATE RECESSED DOWN LIGHTS, WALL WASHERS, SMOKE DETECTORS, EXIT SIGNS, SPEAKERS, FIRE SPRINKLERS, ETC. IN CENTER OF 24" X 24" CEILING TILES OR IN CENTER OF 24"x24" PORTION OF 24"x48" CEILING TILES, UNLESS NOTED OTHERWISE.
- FOR SPECIFICATIONS OF NEW BUILDING STANDARD LIGHT FIXTURES, SWITCHES, EXIT SIGNS SEE ELECTRICAL ENGINEERING DRAWINGS.
- ALL NEW FLUORESCENT LAMPS WILL BE BUILDING STANDARD, SAME COLOR AND MANUFACTURER.
- PROVIDE SWITCHES AND LIGHT SENSORS FOR OPEN AREAS AND PRIVATE OFFICES. ACTUAL LOCATION OF ALL SWITCHES TO BE DETERMINED BY ELECTRICAL DESIGNER.
- PLACE ALL LIGHT SENSORS @ 36" A.F.F., UNLESS NOTED OTHERWISE.
- MOUNT LIGHT SENSORS WITHIN 12" OF EDGE OF DOOR SWING & MAINTAIN CONSISTENT DIMENSION THROUGHOUT.
- WHERE EXIT SIGNS ARE REQUIRED BY CBC SECTION 1006, THEY SHALL BE ILLUMINATED PER SECTION 1006.2 AND 2013 CEC. THE LOCATION SHALL BE COORDINATED WITH THE PROJECT DESIGNER.
- PROVIDE BACK-UP POWER FOR EXIT SIGNS PER IBC SECTION 1011.5.3.
- EMERGENCY LIGHTING SHALL BE TWO SEPARATE SOURCES OF POWER AND SHALL COMPLY WITH THE NEC.
- EXIT ILLUMINATION SHALL BE PROVIDED FROM MEANS OF EGRESS TO EXIT DISCHARGE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. CBC SECTION 1006.1

## DOOR NOTES

### NOTE:

- ALL EXIT DOORS SHALL COMPLY WITH 2016 CBC SECTION 1006.
- VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF THE PLACENTIA BUILDING SAFETY ADMINISTRATIVE CODE, ALL GOVERNING CODES & STANDARDS. NOTIFY THE DESIGNER IMMEDIATELY IN CASE OF DISCREPANCY.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN THE AREA SERVED HAS AN OCCUPANT LOAD OF 50 OR MORE PEOPLE.
- EXIT DOORS ARE TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE A SIGN ON OR NEAR THE MAIN EXIT DOOR READING, "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
- LATCHING AND LOCKING DOORS THAT ARE HAND OPERATED SHALL BE OPERABLE WITH A SINGLE EFFORT WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE (LEVER OR PUSH TYPE). VERIFY CONDITION AT EXISTING DOORS.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING PER THE REQUIREMENTS OF CALIFORNIA BUILDING CODE,
  - INTERIOR DOORS - 5 POUNDS
  - EXTERIOR DOORS - 5 POUNDS
  - FIRE DOORS - 15 POUNDS
- THE SWEEP OF A DOOR CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH AS MEASURED FROM THE LEADING EDGE OF THE DOOR.
- RATED DOORS SHALL COMPLY WITH CBC SECTION 707.
- ALL DOOR HARDWARE TO BE LEVER-TYPE PER STATE AND ADA CODES.
- OPENING HARDWARE IS TO BE CENTERED BETWEEN 34" AND 44" ABOVE FINISH FLOOR. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND MATCH NEW.
- SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- MAXIMUM UNDERCUT OF ALL DOORS NOT IN A RATED CORRIDOR SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
- THE FLOOR AND LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD OF THE DOORWAY. BEVEL (1:2 MAX. SLOPE) WHERE THE THRESHOLD EXCEEDS 1/4" IN HEIGHT.
- PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
- ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE & VERIFY ALL DOOR FRAME THROAT THICKNESS' FOR EACH LOCATION.
- ALL INTERIOR DOOR FRAMES TO BE FACTORY FINISHED.
- EXTERIOR LEVEL LANDING MAY SLOPE UP TO 1/4" PER FOOT IN ANY DIRECTION FOR SURFACE DRAINAGE.
- ALL DOOR STOPS TO HAVE 2x6 BACKING IN WALL BEHIND.

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DATE	DESCRIPTION	BY
1/9/19	PLAN CHECK SUBMITTAL	RPO
3/19/19	PLAN CHECK RESUBMITTAL	RPO
6/5/19	PLAN CHECK RESUBMITTAL	RPO



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SHEET TITLE:  
GENERAL NOTES

DATE: 7/1/18

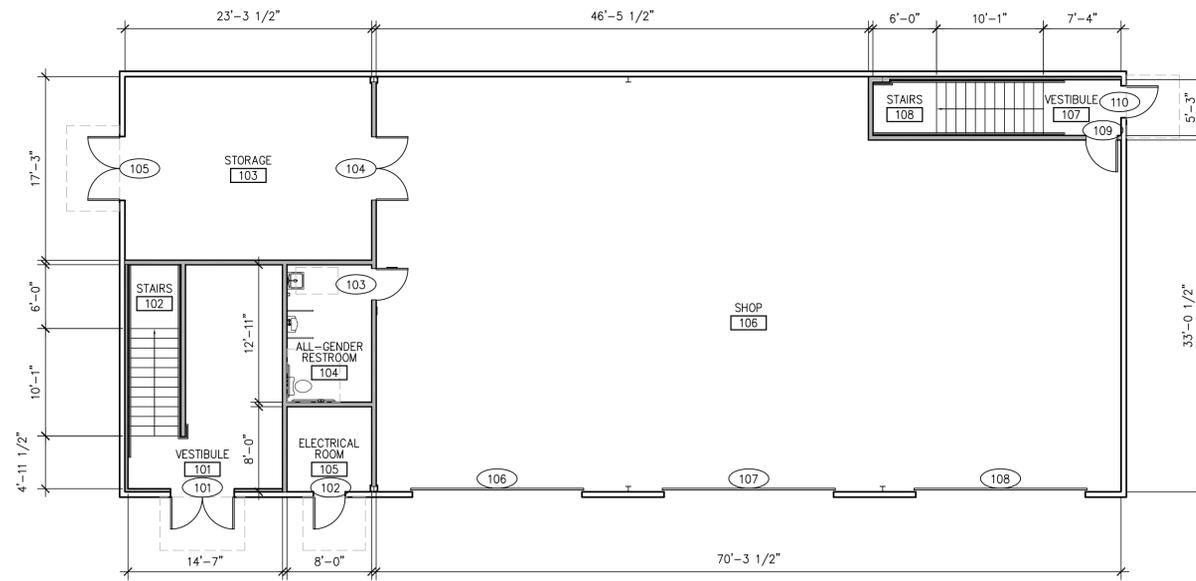
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DRAWN: R. OROZCO

JOB: -

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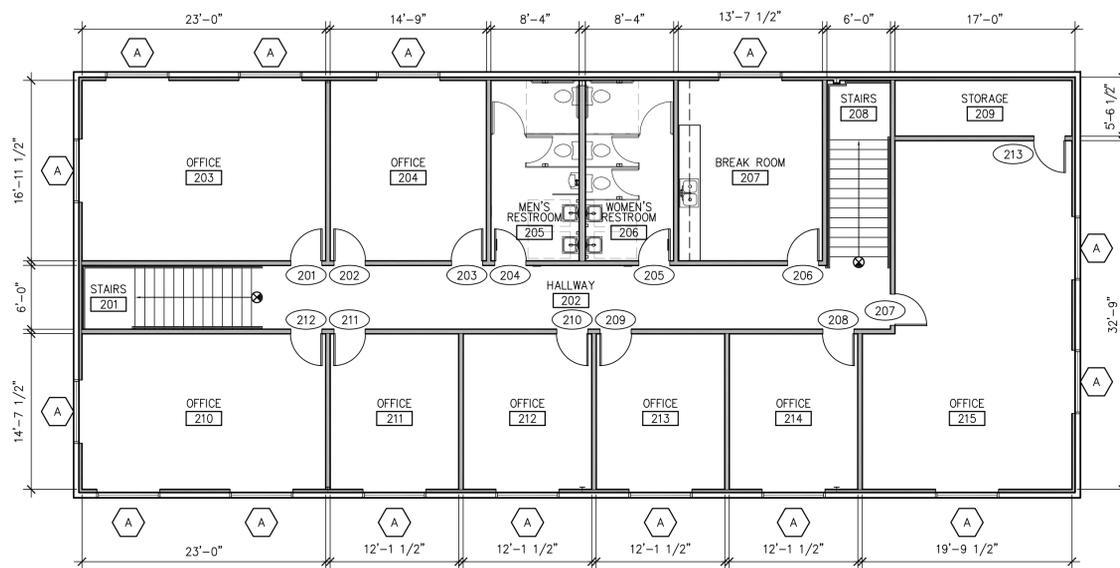
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PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

1



PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

2

**DOOR SCHEDULE:**

1. SEE ADDITIONAL DOOR NOTES ON SHEET GN.

- 101 NEW PAIR OF 3'-0" x 6'-8" STOREFRONT DOORS WITH PUSH/PULL HARDWARE AND LOCKSET. PROVIDE A SIGN ON OR NEAR DOOR, READING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."
- 102 NEW 3'-0" x 6'-8" HOLLOW METAL DOOR WITH LEVER HARDWARE AND LOCKSET.
- 103 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND PRIVACY LOCKSET.
- 104 NEW PAIR OF 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 105 NEW PAIR OF 3'-0" x 6'-8" HOLLOW METAL DOOR WITH LEVER HARDWARE AND LOCKSET.
- 106 NEW 16'-0" x 10'-0" STEEL ROLL-UP DOOR.
- 107 NEW 16'-0" x 10'-0" STEEL ROLL-UP DOOR.
- 108 NEW 16'-0" x 10'-0" STEEL ROLL-UP DOOR.
- 109 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 110 NEW 3'-0" x 6'-8" HOLLOW METAL DOOR WITH LEVER HARDWARE AND LOCKSET.
- 201 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 202 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 203 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 204 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
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- 208 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 209 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 210 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 211 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 212 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.
- 213 NEW 3'-0" x 6'-8" HOLLOW CORE DOOR WITH LEVER HARDWARE AND LOCKSET.

**WINDOW SCHEDULE:**

- A NEW 6'-0" x 5'-0" FIXED CLEAR, LOW-E GLAZING WITH ALUMINUM STOREFRONT FRAME.

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PLAN CHECK RESUBMITTAL	3/19/19	RPO
PLAN CHECK RESUBMITTAL	6/5/19	RPO

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**SHEET TITLE:**  
 PROPOSED FIRST & SECOND FLOOR PLAN

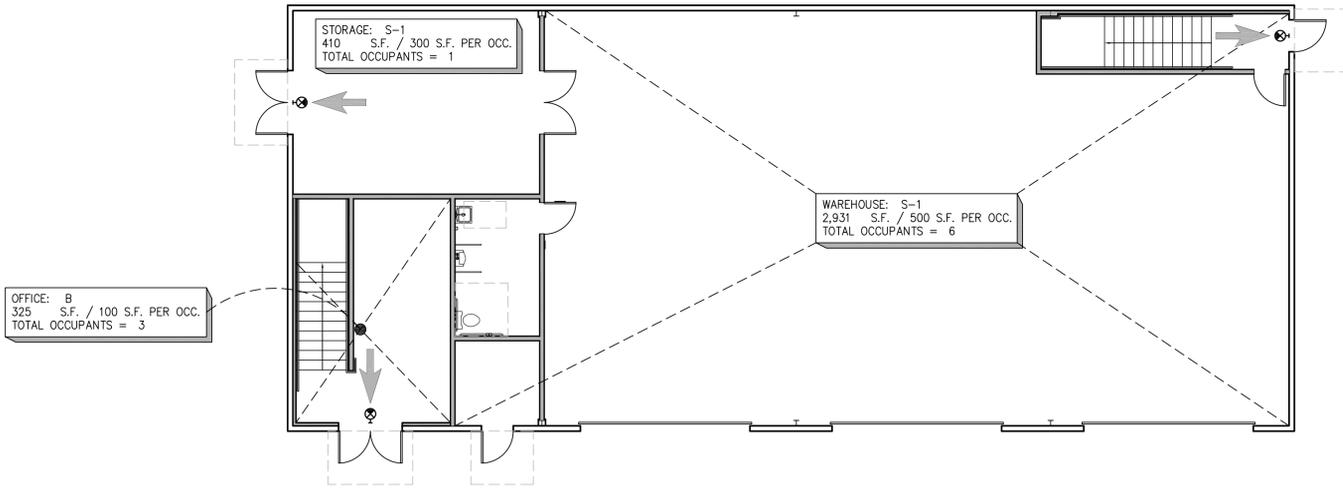
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**SYMBOLS LEGEND:**

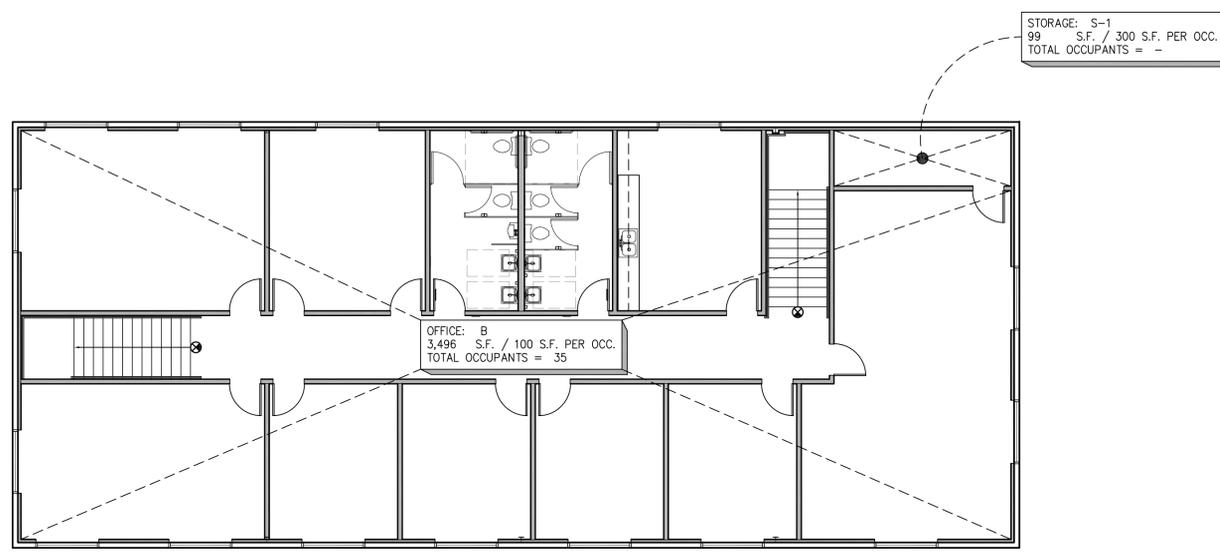
- ← INDICATES FULLY ACCESSIBLE EXIT.
- ⊙ WALL-MOUNTED EXIT SIGN W/ BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.
- ⊙ CEILING-MOUNTED EXIT SIGN W/ BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.
- NOTE:** EXIT SIGNS SHALL BE SELF-LUMINOUS TYPE OR ELECTRICALLY ILLUMINATED & ENERGIZED FROM SEPERATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON-SITE GENERATOR.
- NOTE:** ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

**EGRESS NOTES:**

1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PER CHAPTER 27.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES (1013.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (1011.6.3)
6. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX 44" ABOVE THE FINISH FLOOR.
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.
10. WHERE MORE THAN ONE EXIT IS REQUIRED, NO ONE EXIT CAN EXCEED 50% OF THE REQUIRED EGRESS WIDTH. (1005.5)
11. ALL EXIT DOORS SHALL COMPLY WITH SECTION 1008.1:
  - a. CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN. 32" OR PER SEC. 1005.1, WHICHEVER IS GREATER.
  - b. MIN. DOOR HEIGHT OF 6'-8"
  - c. SHALL BE CAPABLE OF OPENING 90 DEGREES.
  - d. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL.
  - e. EXIT DOOR SHALL BE SIDE HINGED SWINGING TYPE.
12. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
13. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
14. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF A POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
  - a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGeways IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EGRESS.
  - c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN CHAPTER 27, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - e. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
15. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27.
16. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURE ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.



**PROPOSED FIRST FLOOR EXITING & OCCUPANCY PLAN**  
SCALE: 1/8" = 1'-0" ①



**PROPOSED SECOND FLOOR EXITING & OCCUPANCY PLAN**  
SCALE: 1/8" = 1'-0" ②

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PLAN CHECK SUBMITTAL	1/9/19	RPO
PLAN CHECK RESUBMITTAL	3/19/19	RPO
PLAN CHECK RESUBMITTAL	6/5/19	RPO

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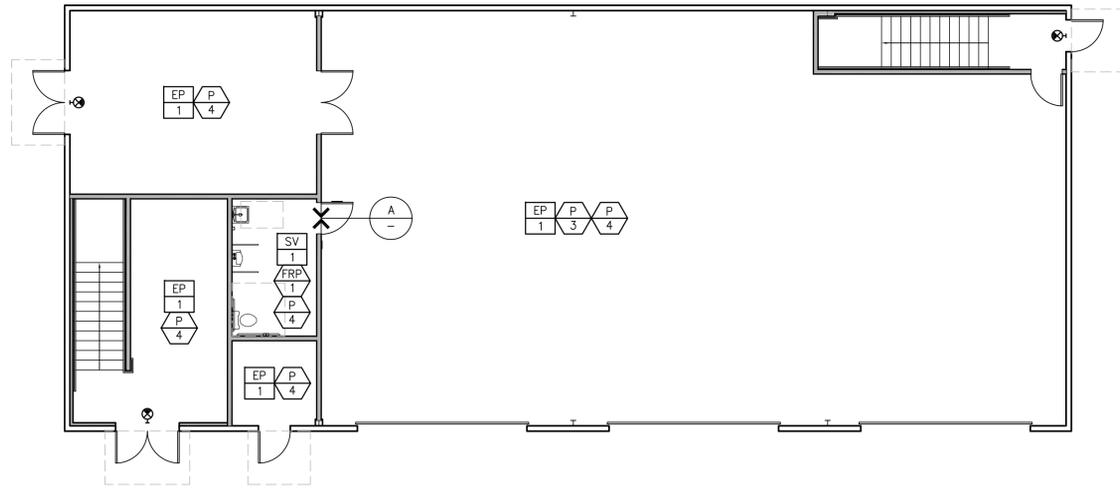
**Project For:**  
NEW DIMENSION GENERAL CONSTRUCTION  
5753 SANTA ANA CANYON RD, G-627  
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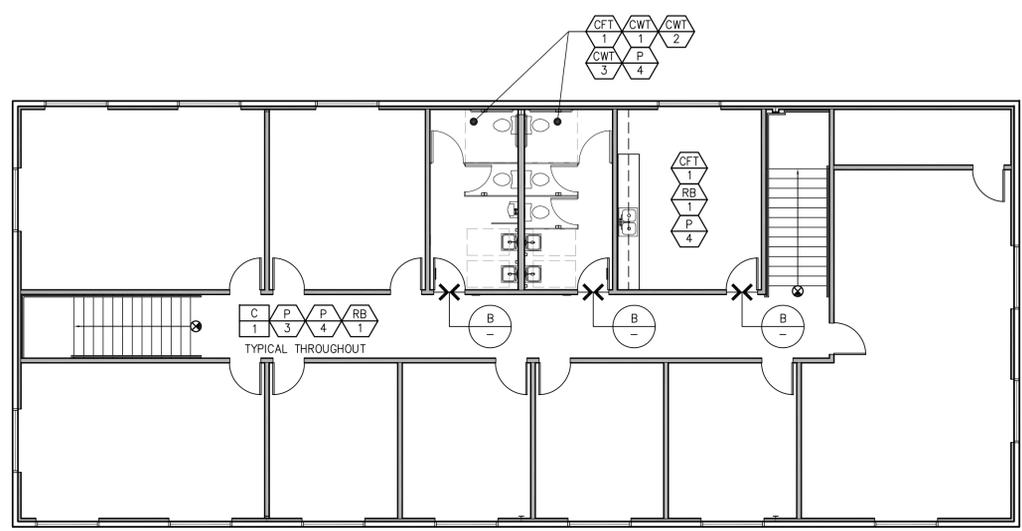
**SHEET TITLE:**  
PROPOSED FIRST & SECOND FLOOR EXISTING & OCCUPANCY PLAN

**DATE:** 7/1/18  
**SCALE:** AS NOTED  
**DRAWN:** R. OROZCO  
**JOB:** -  
**SHEET NO:**

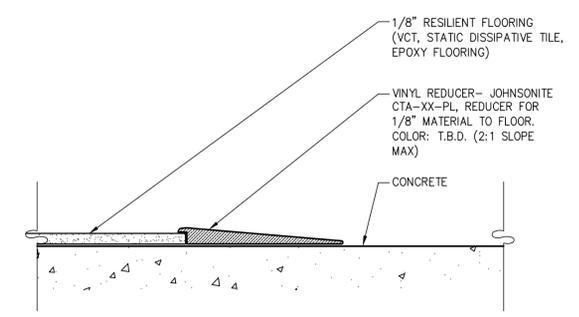
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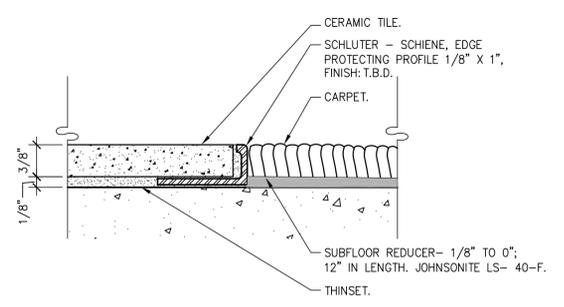
**PROPOSED FIRST FLOOR FINISH PLAN**  
SCALE: 1/8" = 1'-0" ②



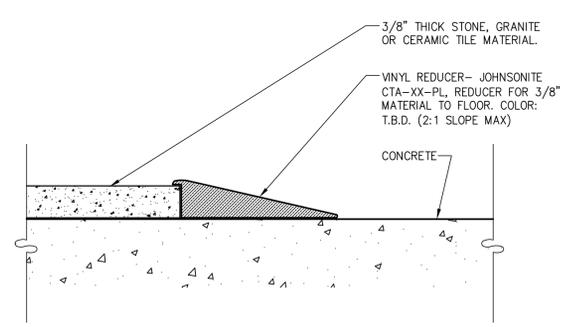
**PROPOSED SECOND FLOOR FINISH PLAN**  
SCALE: 1/8" = 1'-0" ②



**SHEET VINYL TO CONC. DETAIL**  
SCALE: FULL A



**CARPET TO TILE FLOORING**  
SCALE: FULL B



**TITLE TO CONCRETE FLOORING**  
SCALE: FULL C

**SYMBOLS LEGEND:**

- ✕ INDICATES LINE OF FLOOR TRANSITION
- ⬡ X INDICATES LOCATION OF NON-TYPICAL WALL FINISH

**FINISH LEGEND:**

**WALL FINISHES**

- P 1** ITEM: PAINT - EXTERIOR THROUGHOUT  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
- P 2** ITEM: PAINT - EXTERIOR DOORS  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
- P 3** ITEM: PAINT - INTERIOR DOORS  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
- P 4** ITEM: PAINT - INTERIOR WALLS  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
- ERP 1** ITEM: FIBERGLASS REINFORCED PANELS  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
INSTALLATION: TBD BY OWNER
- CWT 1** ITEM: CERAMIC WALL TILE  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
SIZE: TBD BY OWNER  
GROUT: TBD BY OWNER
- CWT 2** ITEM: CERAMIC WALL TILE - ACCENT BAND  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
SIZE: TBD BY OWNER  
GROUT: TBD BY OWNER
- CWT 3** ITEM: CERAMIC WALL TILE - BULLNOSE CAP  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
SIZE: TBD BY OWNER  
GROUT: TBD BY OWNER

**FLOOR FINISHES**

- EP 1** ITEM: PAINT - INTERIOR FLOOR  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
- CFT 1** ITEM: CERAMIC FLOOR TILE  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
SIZE: TBD BY OWNER  
GROUT: TBD BY OWNER
- RB 1** ITEM: RUBBER BASE  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
SIZE: TBD BY OWNER  
STYLE: TBD BY OWNER
- C 1** ITEM: CARPET - TYPICAL THROUGHOUT, U.O.N.  
MFR: TBD BY OWNER  
STYLE: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
INSTALLATION: TBD BY OWNER
- SV 1** ITEM: SHEET VINYL W/ 6" COVED BASE  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER

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<b>Project For:</b> NEW DIMENSION GENERAL CONSTRUCTION 5753 SANTA ANA CANYON RD, G-627 ANAHEIM HILLS, CA 92807 TEL: (714) 348-8081	<b>Prepared By:</b> RPO DESIGNS 11662 WEST ST. GARDEN GROVE, CA 92840 CONTACT: RANDY OROZCO TEL: (714) 504-6470 EMAIL: randy@rpodesigns.com
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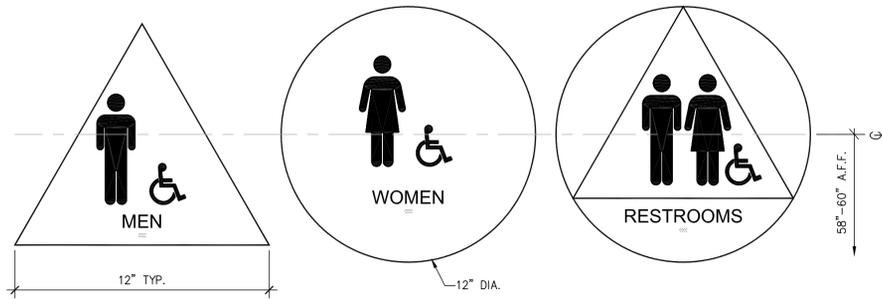
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SHEET TITLE: PROPOSED FIRST & SECOND FLOOR FINISH PLANS
DATE: 7/1/18
SCALE: AS NOTED
DRAWN: R. OROZCO
JOB: -
SHEET NO: <b>A3</b>



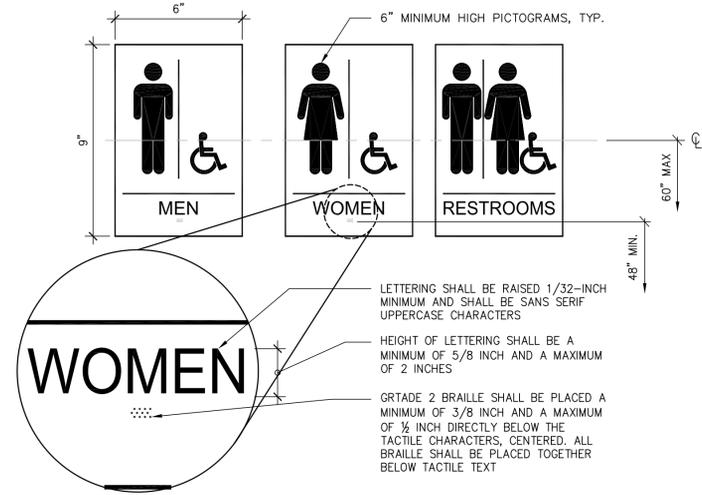
**ACCESSIBLE ID DOOR SYMBOL:**



**3-IDENTIFICATION SYMBOLS:**

1. DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD.
2. DOORWAYS LEADING TO WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH-THICK AND 12 INCHES IN DIAMETER
3. DOORWAYS LEADING TO UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4-INCH THICK, 12 INCHES IN DIAMETER WITH A 1/4-INCH-THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12 INCH DIAMETER.
4. THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 58-60 INCHES AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.

**ACCESSIBLE ID WALL SYMBOL:**



LETTERING SHALL BE RAISED 1/32-INCH MINIMUM AND SHALL BE SANS SERIF UPPERCASE CHARACTERS

HEIGHT OF LETTERING SHALL BE A MINIMUM OF 3/8 INCH AND A MAXIMUM OF 2 INCHES

GRADE 2 BRAILLE SHALL BE PLACED A MINIMUM OF 3/8 INCH AND A MAXIMUM OF 1/2 INCH DIRECTLY BELOW THE TACTILE CHARACTERS, CENTERED. ALL BRAILLE SHALL BE PLACED TOGETHER BELOW TACTILE TEXT

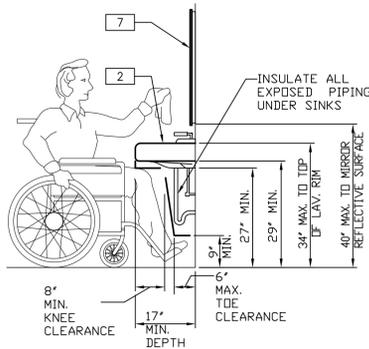
**GENERAL NOTES:**

1. WHERE URINALS ARE PROVIDED, THE RIM OF AT LEAST ONE SHALL PROJECT 1/4" FROM THE WALL AND BE LOCATED 17" MAX. ABOVE THE FINISHED FLOOR. CBC SECTION 11B-213.3.3.
2. USE 5/8" GOLD BOND EXP GREEN BOARD OR EQUAL WATER RESISTANT GYPSUM BACKING BOARD ON TOILET ROOM SIDE OF WALL.
3. CONTROLS FOR WATER CLOSET FLUSH VALVE TO BE ORIENTED AT THE WIDE SIDE OF THE TOILET AREA AND NO MORE THAN 44" CLEAR ABOVE FINISHED FLOOR. AUTOMATIC SPRING TO LIFTED POSITION SEATS ARE NOT ALLOWED. (11B-605.4)
4. GEOMETRIC SYMBOLS SHALL BE 1/4" THICK, CONTRASTING COLORS AND MOUNTED AT 60" ABOVE FINISHED FLOOR. FOR MEN, AN EQUILATERAL TRIANGLE WITH A VERTEX POINTING UPWARD (12" PER SIDE). FOR WOMEN, A CIRCLE (12" DIAMETER). EACH SIGN SHALL BE PROVIDED WITH BRAILLE. SEE DETAIL THIS SHEET.
5. SIGNAGE REQUIREMENTS
  - a. 1/32" RAISED SAN SERIF UPPERCASE CHARACTERS WITH CORRESPONDING GRADE 2 BRAILLE.
  - b. 5/8" RAISED SYMBOLS
  - c. 6" MINIMUM HIGH PICTOGRAM WITH EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW.
  - d. LOCATION SHALL ALLOW APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN A DOOR SWING.
6. PROVIDE INSULATION ON ALL EXPOSED PIPING BELOW SINK.
7. WATER CLOSET COMPARTMENT SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE AND SHALL HAVE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WHEN LOCATED AT THE END AND 34" WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
8. NEW EXHAUST SYSTEM IS CAPABLE OF PROVIDING A MIN. OF 4 AIR CHANGES PER HOUR.
9. THE HEIGHT OF ACCESSIBLE WATER CLOSING SHALL BE A MINIMUM OF 17" AND A MAXIMUM OF 19" MEASURED TO THE TOP OF A MAXIMUM 2" HIGH TOILET SEAT, EXCEPT HAT 3" SEATS SHALL BE PERMITTED ONLY IN ALTERNATIONS WHERE THE EXISTING FIXTURE IS LESS THAN 15" HIGH. (11B-604.4)
10. WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. (11B-309.4 AND 11B-604.6)
11. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE NO GREATER THAN 5 LBF. ELECTRONIC OR AUTOMATIC FLUSHING CONTROLS ARE ACCEPTABLE AND PREFERABLE. (11B-309.4 AND 11B-604.6)
12. CONTROLS FOR FAUCETS SHALL COMPLY WITH SECTION 11B-309. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM. (11B-606.4)
13. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTED DEVICES SHALL MEET THE SPECIFICATIONS:
 

A BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF A 250-lb POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAL. (11B-609.8 AND 11B-610.4)
14. THE GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8". (11B-609.5)

**KEYNOTES:**

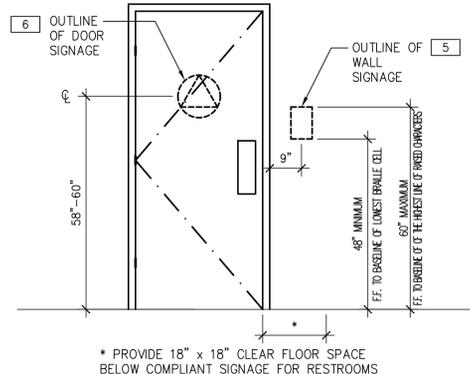
- 1 NEW WATER CLOSET - FULLY ACCESSIBLE, FLOOR-MOUNTED WITH FLUSH VALVE ON WIDE SIDE.
- 2 NEW LAVATORY - FULLY ACCESSIBLE, WALL-HUNG, SELF-RIMMING, PORCELAIN SINK WITH WRIST BLADE FAUCET CONTROLS & INSTA-HOT WATER HEATER.
- 3 NEW 48" L X 1-1/2" DIAMETER GRAB-BAR WITH CONCEALED ANCHOR PLATES @ 33" A.F.F.
- 4 NEW 36" X 1-1/2" DIAMETER GRAB-BAR WITH CONCEALED ANCHOR PLATES @ 33" A.F.F.
- 5 NEW "MEN'S" WALL MOUNTED SIGN SEE DETAIL ON THIS SHEET.
- 6 NEW "MEN'S" DOOR SIGN, SEE DETAIL ON THIS SHEET.
- 7 NEW MIRROR AT SINK - 48"Hx24"W MOUNTED @ 40" A.F.F. FROM BOTTOM OF MIRROR.
- 8 NEW WALL MOUNTED SOAP DISPENSER @ 40" A.F.F.
- 9 NEW RECESSED PAPER TOWEL DISPENSER & WASTE RECEPTACLE, BOBRICK #B-369 OR EQUAL.
- 10 NEW SURFACE MOUNTED TOILET TISSUE DISPENSER.
- 11 NEW SURFACE MOUNTED TOILET SEAT COVER DISPENSER.
- 12 NEW WALL-MOUNTED URINAL WITH FLUSH VALVE.
- 13 NEW "WOMAN'S" WALL MOUNTED SIGN SEE DETAIL ON THIS SHEET.
- 14 NEW "WOMAN'S" DOOR SIGN, SEE DETAIL ON THIS SHEET.



**LAVATORY CLEARANCES, TYP.**

SCALE: 1/4"=1'-0"

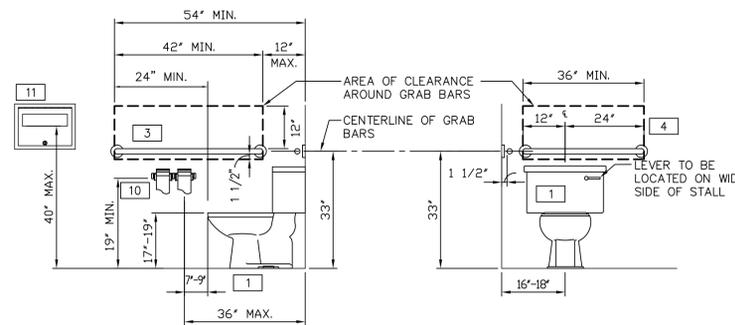
**B**



**SIGN MOUNTING HEIGHTS, TYP.**

SCALE: 1/2"=1'-0"

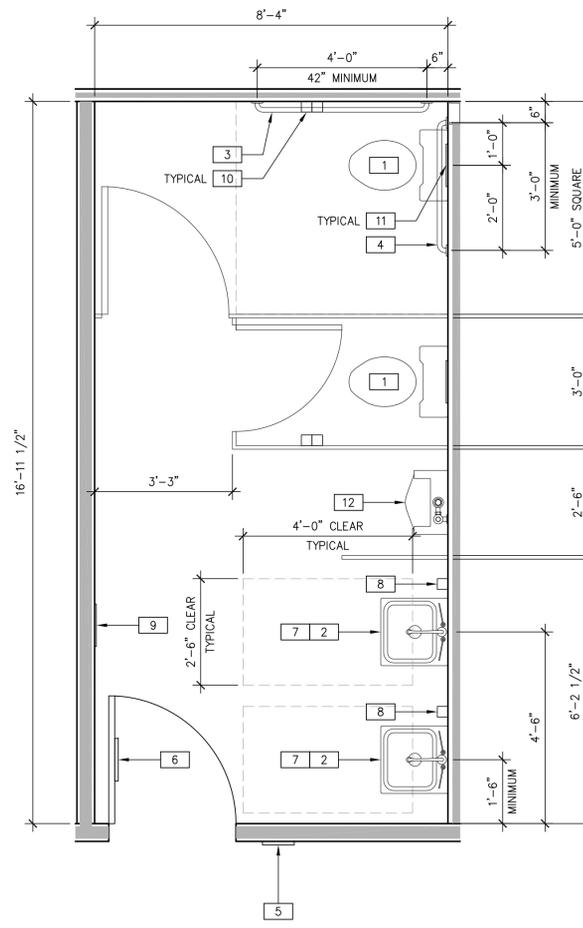
**A**



**FRONT AND SIDE TOILET ELEVATION, TYP.**

SCALE: 1/4"=1'-0"

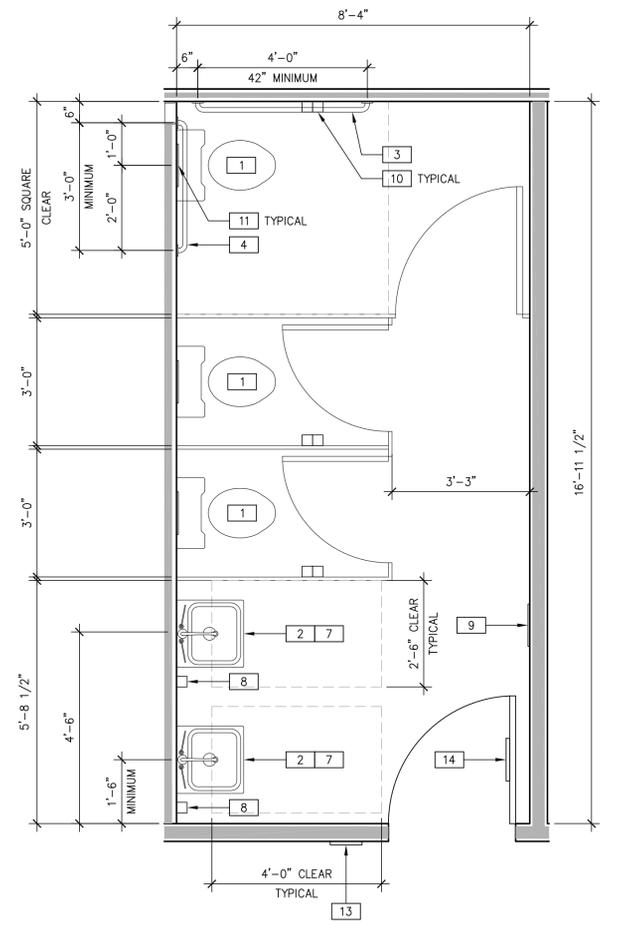
**C**



**MEN'S RESTROOM 205 PLAN**

SCALE: 1/8" = 1'-0"

**2**



**WOMEN'S RESTROOM 206 PLAN**

SCALE: 1/8" = 1'-0"

**1**

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6/5/19	PLAN CHECK RESUBMITTAL	RPO

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STAMP	
SHEET TITLE: PROPOSED RESTROOM PLANS, DETAILS & NOTES	
DATE: 7/1/18	
SCALE: AS NOTED	
DRAWN: R. OROZCO	
JOB: -	
SHEET NO:	

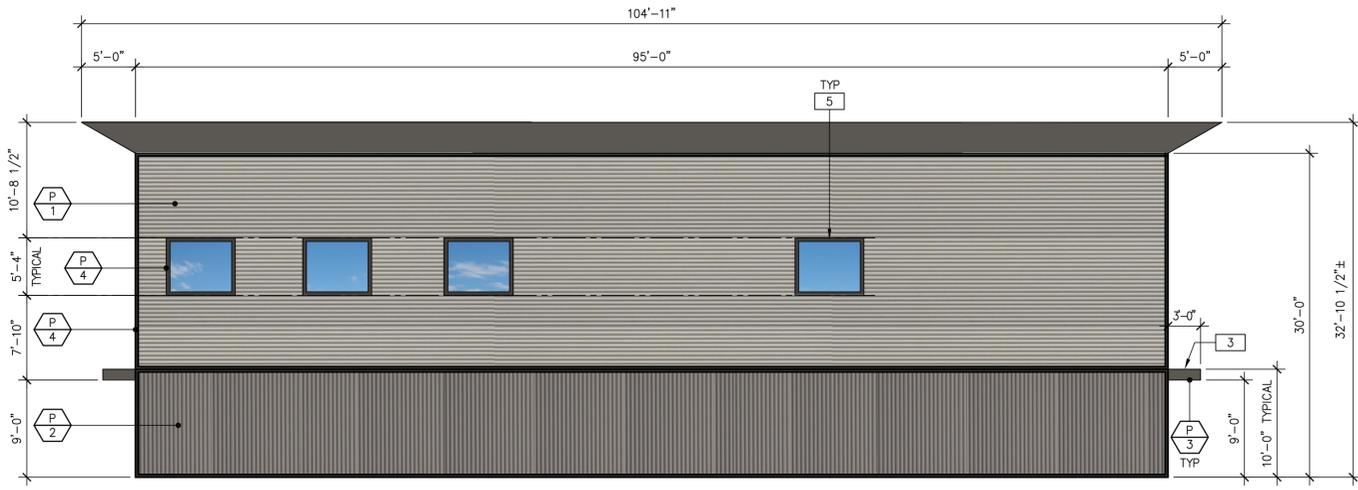
**A5**

**KEYNOTES:**

- 1 NEW LED RECESSED LIGHT FIXTURES.
- 2 omit.
- 3 NEW 20'x3' CANOPY.
- 4 NEW 24'x5' CANOPY.
- 5 NEW WINDOW WITH 4" WIDE FRAME. SEE WINDOW SCHEDULE ON SHEET A1.
- 6 NEW DOOR. SEE DOOR SCHEDULE ON SHEET A1.

**FINISH LEGEND:**

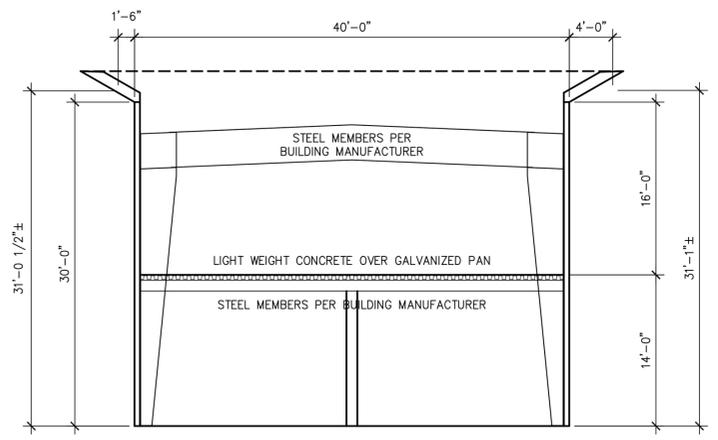
- WALL FINISHES**
- SV 1 ITEM: STONE VENEER  
MFR: TBD BY OWNER  
FINISH: TBD BY OWNER
  - P 1 ITEM: PAINT - HORIZONTAL SIDING  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
  - P 2 ITEM: PAINT - VERTICAL SIDING / DOOR  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
  - P 3 ITEM: PAINT - EXTERIOR CANOPY  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER
  - P 4 ITEM: PAINT - WINDOW, DOOR & BLDG. TRIM  
MFR: TBD BY OWNER  
COLOR/NO: TBD BY OWNER  
FINISH: TBD BY OWNER



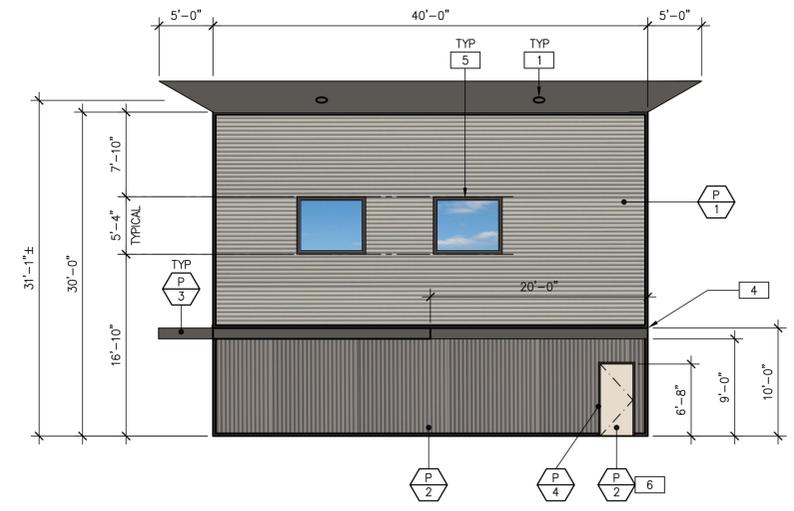
**PROPOSED EXTERIOR ELEVATION** ②  
SCALE: 1/8" = 1'-0"



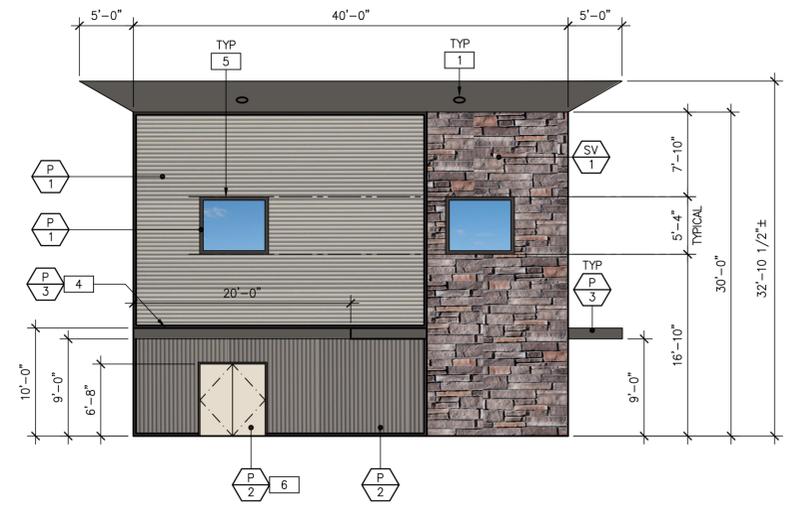
**PROPOSED EXTERIOR ELEVATION** ①  
SCALE: 1/8" = 1'-0"



**BUILDING SECTION** ⑤  
SCALE: 1/8" = 1'-0"



**PROPOSED EXTERIOR ELEVATION** ④  
SCALE: 1/8" = 1'-0"



**PROPOSED EXTERIOR ELEVATION** ③  
SCALE: 1/8" = 1'-0"

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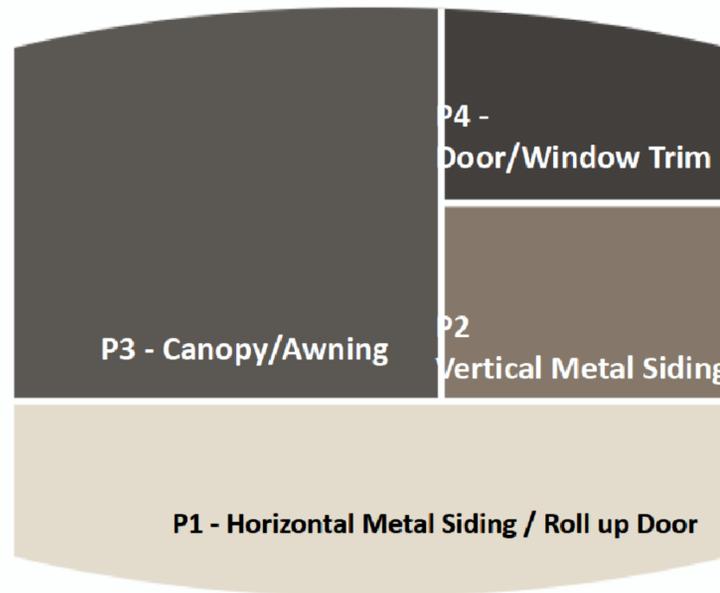
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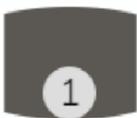
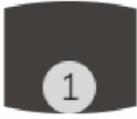
**STAMP**

**SHEET TITLE:**  
 PROPOSED EXTERIOR ELEVATIONS & SECTION

DATE: 7/1/18  
 SCALE: AS NOTED  
 DRAWN: R. OROZCO  
 JOB: -  
 SHEET NO:

A6



-  Peppery  
MQ2-62
-  Off Broadway  
MQ1-35
-  Grizzly  
MQ2-38
-  Varnished Ivory  
MQ3-40

## Monroe Way Exterior Finishes

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DESCRIPTION	DATE	BY	DATE	BY
PLAN CHECK SUBMITTAL	1/9/19	RPO		
PLAN CHECK RESUBMITTAL	3/19/19	RPO		
PLAN CHECK RESUBMITTAL	6/5/19	RPO		



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Project For:  
**NEW DIMENSION GENERAL CONSTRUCTION**  
 5753 SANTA ANA CANYON RD, G-627  
 ANAHEIM HILLS, CA 92807  
 TEL: (714) 348-8081

STAMP

SHEET TITLE:  
 COLOR RENDERING AND FINISHES

DATE: 7/1/18  
 SCALE: AS NOTED  
 DRAWN: R. OROZCO  
 JOB: -

SHEET NO:  
**R1**